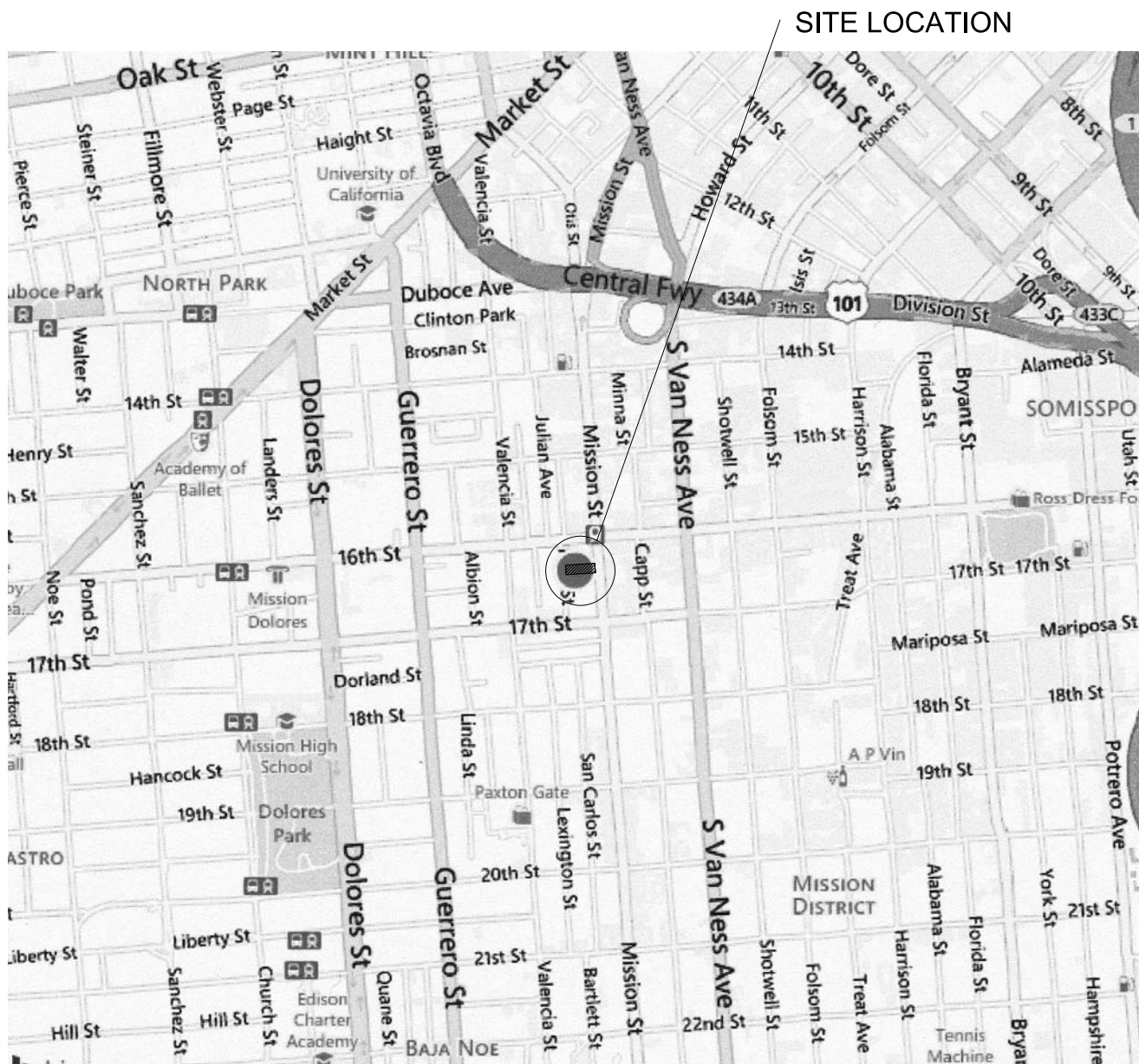
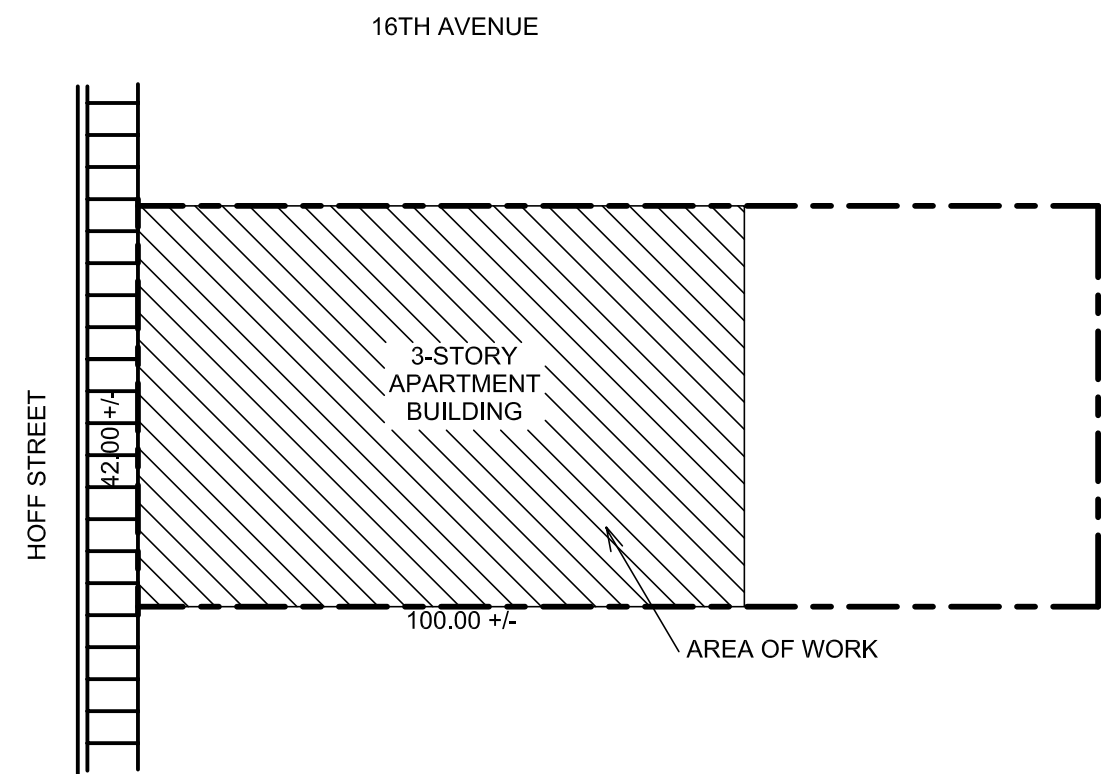


SOFT-STORY SEISMIC RETROFIT

17 HOFF STREET

| PROJECT DATA | | SHEET INDEX | | PROJECT TEAM | | VICINITY MAP | | 650-638-9546 | | | | | | |
|---|---|---|--|--|--|--|--|---|---|---|--|--|--|--|
| APN # | 3529/021 | T1 | TITLE SHEET | CIVIL ENGINEER/ ENGINEER OF RECORD: | W. CHARLES PERRY & ASSOCIATES 231 W. 41st AVE. SAN MATEO, CA 94403 PH: 650-638-9546 CONTACT: CHARLES PERRY CELL: 415-509-2956 E-MAIL: charles@wcharlesperry.com |  <div>SITE LOCATION</div> <div>SAN FRANCISCO, CA</div> | | <div><div><div><div>REGISTERED PROFESSIONAL ENGINEER</div><div>W. CHARLES PERRY</div><div>No C-38622</div><div>EXPIRES 3/31/15</div><div>CIVIL</div><div>STATE OF CALIFORNIA</div></div><div>This drawing, as an instrument of service is and shall remain the property of the Engineers and shall not be reproduced, published or used in any way without the permission of the Engineer.</div></div><div>DRAWINGS ARE HALF SCALE AND NOT FOR CONSTRUCTION WHEN SHOWN ON 11X17 OR NOT WET SIGNED AND DATED</div></div> | | | | | | |
| USE | MULTI FAMILY | G1 | GENERAL NOTES | OWNER: | McKEEVER REALTY C/O CHUCK LEWKOWITZ 712 MONTEREY BLVD. SAN FRANCISCO, CA 94127 O: 415-2398420 C: 650-580-0465 E:chucklewkowitz@sbcglobal.net | | | | | | | | | |
| OCCUPANCY | R-2 | G2 | GENERAL NOTES | CONTRACTOR: | FELIX CHAN KALIX, INC. DBA LARS CONSTRUCTION CONTR. REG. NO. 845578 62 WESTLAWN AVENUE DALY CITY, CA 94015 CELL: 415-720-8009 ALT: 415-308-1788 E: sflaraco@sbcglobal.net | | | | | | | | | |
| ZONING | RTO-M | A1 | (E) FLOOR PLAN - FIRST FLOOR | | | | | | | | | | | |
| TYPE OF CONSTRUCTION | V-B NON-SPRINKLERED | A2 | (E) FLOOR PLAN - SECOND & THIRD FLOOR | | | | | | | | | | | |
| BUILDING AREA | 7,638 s.f. + 2636 s.f. BSMT = 10,274 s.f (T) | S1 | (E) FOUNDATION PLAN | | | | | | | | | | | |
| PARCEL AREA | 4,200 s.f. | S1.R | FOUNDATION PLAN RETROFITTED | | | | | | | | | | | |
| TOTAL AREA OF WORK | 2636 s.f. | S2 | (E) BASEMENT SHEAR WALL & FIRST FLOOR FRAMING PLAN | | | | | | | | | | | |
| # OF STORIES | 3 + UNFIN BSMT | S2.R | BASEMENT SHEAR WALL & FIRST FLOOR FRAMING PLAN RETROFITTED | | | | | | | | | | | |
| # OF UNITS | 6 | S3 | (E) FIRST FLOOR SHEAR WALL & SECOND FLOOR FRAMING PLAN | | | | | | | | | | | |
| | | S3.R | FIRST FLOOR SHEAR WALL & SECOND FLOOR FRAMING PLAN RETROFITTED | | | | | | | | | | | |
| | | S4 | (E) SECOND FLOOR SHEAR WALL & THIRD FLOOR FRAMING PLAN | | | | | | | | | | | |
| | | S4.R | NOT USED | | | | | | | | | | | |
| | | S5 | (E) LONGITUDNAL SECTION | | | | | | | | | | | |
| | | S5.R | LONGITUDNAL SECTION RETROFITTED | | | | | | | | | | | |
| | | S6 | (E) CROSS SECTION | | | | | | | | | | | |
| | | S6.R | CROSS SECTION RETROFITTED | | | | | | | | | | | |
| | | S7 | (E) FOUNDATION & WALL DETAILS | | | | | | | | | | | |
| | | S7.R | FOUNDATION & SHEAR WALL DETAILS RETROFITTED | | | | | | | | | | | |
| | | S8.R | FOUNDATION & SHEAR WALL DETAILS RETROFITTED | | | | | | | | | | | |
| | | S9.R | SHEAR WALL DETAILS | | | | | | | | | | | |
| PROJECT SCOPE | | SITE MAP | | CODES USED | | ABBREVIATIONS | | SOFT-STORY SEISMIC RETROFIT 17 Hoff Street San Francisco, CA 94110 | | | | | | |
| <p>PHASE I: REQUIRED</p> <p>1. SOFT-STORY RETROFIT PER SAN FRANCISCO ORDINANCE NO. 66-13, BUILDING CODE CHAPTER 34-B & ADMINISTRATIVE BULLETIN 106.</p> <p>2. REBUILD EXISTING SHEAR WALL ON GROUND FLOOR LEVEL TO PROVIDE ADEQUATE SEISMIC SHEAR STRENGTH PER FEMA P807 ANALYSIS.</p> <p>PHASE II: OPTIONAL</p> <p>1. ADD SHEAR WALL ON SECOND LEVEL TO BRING PROBABILITY OF LOSS OF STRENGTH WITHIN ADMINISTRATIVE GUIDELINES (< 50%).</p> <p>2. WORK TO BE DONE WHEN TENANTS RELOCATE.</p> <p>3. WORK TO BE DONE UNDER SEPARATE PERMIT.</p> | | <p>SITE ADDRESS: 17 HOFF STREET SAN FRANCISCO, CA 94110</p>  <p>16TH AVENUE</p> <p>17TH AVENUE</p> <p>HOFF STREET</p> <p>3-STORY APARTMENT BUILDING</p> <p>100.00 +/-</p> <p>AREA OF WORK</p> <p>TRUE NORTH</p> <p>PLAN NORTH</p> <p>① (E) Site Plan 1" = 20'-0"</p> | | <p>1. 2013 CALIFORNIA BUILDING CODE</p> <p>2. 2013 SAN FRANCISCO BUILDING CODE</p> <p>3. FEMA P807</p> | | <table><tr><td>@ A.D. ADD'N. ASS'Y. AVE. BLDG. BOARDS BLK'S BM. CAB. C.J. CLG. C.I.H. CLO. CONC. DN. DBL. D.S. DIA. D.J. (E) ELEC. EXT. E.A. F.B.G. FDN. F.H. FIXT. F.J. FLU. FLUOR. FR. FT. FT'G FURN. FA. GALV. GFI GLB G.S.M. GYP. BD. HD. HDR. HNGR. HWY. IN. INCAND. INC. INSUL. LNDRY. LT.</td><td>AT AREA DRAIN ADDITION ASSEMBLY AVENUE BUILDING BOARDS BLOCKING BEAM CABINET CEILING JOIST CEILING CERTIFIED INDUSTRIAL HYGIENIS CONCRETE DOWN DOUBLE DOWN SPOUT DIAMETER DECK JOIST EXISTING ELECTRIC EXTERIOR EACH FIBERGLASS FOUNDATION FULL HEIGHT FIXTURE FLOOR JOIST FLOOR FLUORESCENT FROM FEET FOOTING FURNACE GAUGE GALVANIZED GROUND FAULT INTERRUPT GLUE LAMINATED BEAM GALVANIZED SHEET METAL GYPSUM BOARD HEAD HEADER HANGER HIGHWAY INCH INCANDESCENT INCLUDE INSULATION LAUNDRY LIGHT</td><td>MAX. MFR. MIN. MTD. MTL. (N) N.I.C. N.T.S. O/C O.C. O/ O.H. OP. OPP. OP'G PART. PLYWD. PT. P.T. R. R.A. RD. REINF. REQ'D ROOM R.O. S.A. S.A.B. S.D. SECT. S/W SIM. SNGL. S.O.G. STD. T & G T.D. T.D.L. T.O.C. THK. TR. TYP. U/ V.I.F. V.B. W/ W/O WD. W.P. W.W.F.</td><td>MAXIMUM MANUFACTURER MINIMUM MOUNTED METAL NEW NOT IN CONTRACT NOT TO SCALE ON CENTER OVER OVER HEAD, OVER HANG OPERATED OPPOSITE OPENING PARTIAL PLYWOOD POINT PRESSURE TREATED RADIUS, RISER RETURN AIR ROAD REINFORCED REQUIRED ROOM ROUGH OPENING SUPPLY AIR SOUND ATTENUATION BATTS SMOKE DETECTOR SECTION SHEAR WALL SIMILAR SINGLE SLAB ON GRADE STANDARD TONGUE & GROOVE TRENCH DRAIN TRUE DIVIDED LITE TOP OF CONCRETE THICK TREAD TYPICAL UNDER VERIFY IN FIELD VAPOR BARRIER WITH WITHOUT WOOD WATER PROOF WELDED WIRE FABRIC</td></tr></table> | | @ A.D. ADD'N. ASS'Y. AVE. BLDG. BOARDS BLK'S BM. CAB. C.J. CLG. C.I.H. CLO. CONC. DN. DBL. D.S. DIA. D.J. (E) ELEC. EXT. E.A. F.B.G. FDN. F.H. FIXT. F.J. FLU. FLUOR. FR. FT. FT'G FURN. FA. GALV. GFI GLB G.S.M. GYP. BD. HD. HDR. HNGR. HWY. IN. INCAND. INC. INSUL. LNDRY. LT. | AT AREA DRAIN ADDITION ASSEMBLY AVENUE BUILDING BOARDS BLOCKING BEAM CABINET CEILING JOIST CEILING CERTIFIED INDUSTRIAL HYGIENIS CONCRETE DOWN DOUBLE DOWN SPOUT DIAMETER DECK JOIST EXISTING ELECTRIC EXTERIOR EACH FIBERGLASS FOUNDATION FULL HEIGHT FIXTURE FLOOR JOIST FLOOR FLUORESCENT FROM FEET FOOTING FURNACE GAUGE GALVANIZED GROUND FAULT INTERRUPT GLUE LAMINATED BEAM GALVANIZED SHEET METAL GYPSUM BOARD HEAD HEADER HANGER HIGHWAY INCH INCANDESCENT INCLUDE INSULATION LAUNDRY LIGHT | MAX. MFR. MIN. MTD. MTL. (N) N.I.C. N.T.S. O/C O.C. O/ O.H. OP. OPP. OP'G PART. PLYWD. PT. P.T. R. R.A. RD. REINF. REQ'D ROOM R.O. S.A. S.A.B. S.D. SECT. S/W SIM. SNGL. S.O.G. STD. T & G T.D. T.D.L. T.O.C. THK. TR. TYP. U/ V.I.F. V.B. W/ W/O WD. W.P. W.W.F. | MAXIMUM MANUFACTURER MINIMUM MOUNTED METAL NEW NOT IN CONTRACT NOT TO SCALE ON CENTER OVER OVER HEAD, OVER HANG OPERATED OPPOSITE OPENING PARTIAL PLYWOOD POINT PRESSURE TREATED RADIUS, RISER RETURN AIR ROAD REINFORCED REQUIRED ROOM ROUGH OPENING SUPPLY AIR SOUND ATTENUATION BATTS SMOKE DETECTOR SECTION SHEAR WALL SIMILAR SINGLE SLAB ON GRADE STANDARD TONGUE & GROOVE TRENCH DRAIN TRUE DIVIDED LITE TOP OF CONCRETE THICK TREAD TYPICAL UNDER VERIFY IN FIELD VAPOR BARRIER WITH WITHOUT WOOD WATER PROOF WELDED WIRE FABRIC | | | |
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| | | | | NOTES | | | | Title Sheet 1" = 20'-0" | | | | | | |
| | | | | | | | | DATE: 5-23-14 | | | | | | |
| | | | | | | | | DRAWN BY: DMH | | | | | | |
| | | | | | | | | JOB #: | | | | | | |
| | | | | | | | | T1 | | | | | | |

SEISMIC RETROFIT DESIGN CRITERIA:

- 1. FEMA P807

SEISMIC LOADS:

- 1. LONGITUDE -122.42; LATITUDE 37.76
- 2. S_s = 1.500 G
- 3. S₁ = 0.710 G
- 4. FA = 1.0
- 5. FV = 1.5
- 6. SOIL SITE CLASS D
- 7. SEISMIC DESIGN CATEGORY D
- 8. SDS = 1.0 G
- 9. SD1 = 0.710 G
- 10. SM_s = 1.500 G
- 11. SM₁ = 1.066 G
- 12. R = 2.0 (EXISTING)
- 13. Ω = 2.5 (EXISTING)
- 14. C_o = 2.0 (EXISTING)
- 15. p = 1.3

GYPSUM WALLBOARD:

- 1. INSTALL SHEETS WITH LONG SEAMS PARALLEL TO STUDS/JOISTS.
- 2. ATTACH TO STUDS/JOISTS W/ 1 1/4" DRYWALL SCREWS @ 6" O.C. MAX. COUNTER SINK HEADS. DO NOT TEAR PAPER.
- 3. TAPE & FLOAT ALL JOINTS.
- 4. TEXTURE TO MATCH (E) FINISH.
- 5. ALL WORK SHALL COMPLY WITH USG GYPSUM CONSTRUCTION HANDBOOK.

GENERAL NOTES & REQUIREMENTS:

- 1. COMPLY WITH ALL CODES INCLUDING 2013 CALIFORNIA STATE BUILDING CODE, 2013 CALIFORNIA STATE PLUMBING CODE, CALIFORNIA STATE MECHANICAL CODE, CURRENT CITY CODES, TITLE 24, UMC, NEC, UPC, PG&E REQUIREMENTS, 2013 CALIFORNIA STATE ELECTRICAL CODE, AND 2013 SAN FRANCISCO BUILDING CODE.
- 2. DO NOT SCALE DRAWINGS.
- 3. PROTECT ADJACENT PROPERTY AND IMPROVEMENTS. REPLACE DAMAGED ADJACENT PROPERTIES/IMPROVEMENTS AS REQUIRED.
- 4. PROVIDE ALLOWANCES FOR FINISHES, PER OWNER'S SPECIFICATIONS AND APPROVAL (AS REQ'D).
- 5. NO WORK TO BE CONCEALED UNLESS APPROVED AND SIGNED OFF BY INSPECTOR.
- 6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA, CAL-OSHA, AND LOCAL SAFETY REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL JOB SITE SAFETY & SECURITY FOR ALL PERSONS ON JOB SITE. THIS INCLUDES SUBCONTRACTORS, INDEPENDENT CONTRACTORS, PROFESSIONALS, AND LAY PERSONS.
- 7. ALL MATERIALS TO COMPLY WITH THE APPLICABLE ICBO/2010 CSBC STANDARDS.
- 8. ALL EXTERIOR FASTENERS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH 200 CSBC STANDARD 25-17 AND PROJECT SPECIFICATIONS.
- 9. CONTRACTOR TO PROVIDE TO OWNER OR THEIR AGENT A CONSTRUCTION PLAN SHOWING TRAILER, DEBRIS BOX, TOILETS, PARKING, AND MATERIAL STORAGE LOCATION ON SITE, FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
- 10. CONTRACTOR SHALL CONFORM TO THE CITY GUIDELINES FOR HOURS OF CONSECUTION IN A RESIDENTIAL AREA: MON - FRI 7:00 AM TO 6:00 PM, SAT 9:00 AM TO 5:00 PM, NO WORK ON SUNDAYS/HOLIDAYS
- 11. CONTRACTOR TO PRESENT ALL WARRANTIES TO PROPERTY OWNERS AT END OF PROJECT.
- 12. CONTRACTOR TO PROVIDE UNCONDITIONAL LIEN RELEASES FROM ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO ALL PAYMENTS.
- 13. CONTRACTOR TO PROVIDE CERTIFICATE OF INSURANCE WITH OWNER AND ENGINEER OF RECORD AS NAMED ADDITIONAL INSURED FOR SELF AND ALL SUBCONTRACTORS.
- 14. PROVIDE TEMPORARY 6' HIGH SECURITY & PRIVACY FENCE AROUND SITE DURING CONSTRUCTION.
- 15. JOB SITE SHALL BE BROOM SWEEPED, ORGANIZED, AND SECURED AT THE END OF EACH DAY. TOOLS & MATERIALS SHALL BE STORED & SECURED IN THEIR DESIGNATED LOCATIONS WITHIN SECURITY & PRIVACY FENCING. DEBRIS SHALL BE PLACED IN DEBRIS BOZ OR RECYCLED AS REQUIRED BY CITY, COUNTY, STATE, & FEDERAL REGULATIONS.
- 16. CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY FOR ALL EMPLOYEES, SUBCONTRACTORS, SUPPLIERS, INDEPENDENT CONTRACTORS, PROFESSIONALS, & PEDESTRIANS ON JOB SITE AT ALL TIMES.

GENERAL NOTES & REQUIREMENTS (CONT'D):

- 17. CONTRACTOR SHALL MAINTAIN EGRESS AT ALL TIMES.
- 18. CONTRACTOR SHALL REPAIR OR REPLACE ALL FIRE RATED CONSTRUCTION.
- 19. CONTRACTOR SHALL REPAIR OR REPLACE ALL FIRE RATED PENETRATIONS.

RETROFIT PROCEDURE:

- 1. TEST WALLS THAT WILL BE RETROFITTED FOR THE PRESENCE OF LEAD & ASBESTOS BY C.I.H.
- 2. DEMOLISH INDICATED WALL SURFACES FOLLOWING ABATEMENT PROCEDURES SPECIFIED BY C.I.H.
- 3. DISPOSE OF MATERIALS FOLLOWING PROCEDURES SPECIFIED BY C.I.H.
- 4. INSTALL NEW FOUNDATION ELEMENTS WHERE SPECIFIED.
- 5. INSTALL SHEAR PLYWOOD ON CRIPPLE WALLS WHERE INDICATED & VENTILATE PER DETAILS.
- 6. INSTALL SHEAR PLYWOOD/PRE-FABRICATED SHEAR PANELS/MOMENT FRAMES & HOLDDOWNS ON GROUND LEVEL WALLS WHERE INDICATED.
- 7. REPAIR WATERPROOFING & STUCCO/SIDING. MATCH (E) FINISH.
- 8. INSTALL 5/8" TYPE-X GWB ON INTERIOR WALL SURFACES WHERE INDICATED. FIRE TAPE. FLOAT & TEXTURE TO MATCH (E) SURFACES.
- 9. PAINT TO MATCH (E) COLORS.

PRIORITY OF DOCUMENTS:

- 1. PRIORITY OF DOCUMENTS:
 - A. SIGNED CHANGE ORDERS AND ADDENDUM PREVAIL OVER...
 - B. CONTRACTS PREVAIL OVER...
 - C. WRITTEN SPECIFICATIONS, INCLUDING STANDARDS PRODUCT INSTALLATION & USE GUIDES, CODES, AND REGULATIONS, WHICH PREVAIL OVER...
 - D. INDUSTRY STANDARDS, CODES, AND GOVERNMENT REGULATIONS.
 - E. DRAWN PLANS.
- 2. WHEN A CONFLICT OR MULTIPLE REQUIREMENTS OCCUR, THE MOST RESTRICTIVE INTERPRETATION THAT PRODUCES THE HIGHEST QUALITY WORKMANSHIP CONSIDERING ALL REQUIREMENTS SHALL PREVAIL.
- 3. CODES, STANDARDS, AND REGULATIONS SHALL BE THE MOST RECENT VERSION IN FORCE AT THE TIME OF CONSTRUCTION.
- 4. ENGINEER OF RECORD SHALL BE THE FINAL ARBITEUR IN THE INTERPRETATION OF CONTRACT AND CONSTRUCTION DOCUMENTS.

WARNINGS:

- 1. SITE CONDITIONS MIGHT VARY FROM PLANS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, WINDOW SIZES, PIPE LOCATIONS, PIPE SIZE, ETC. IN FIELD. CONTRACTOR SHALL CONFIRM DIMENSIONS PRIOR TO THE START OF CONSTRUCTION & AFTER DEMOLITION AND INFORM THE ENGINEER OF RECORD OF ALL VARIANCES.
- 2. PLANS ARE REPRESENTATIONAL AND ARE NOT EXACT REPLICATIONS OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY ALL ASSUMED CONDITIONS AND DETAILS FOR ACTUAL FIELD CONSTRUCTION.
- 3. LOCATE (E) UTILITIES PRIOR TO ALL EXCAVATIONS.
- 4. EXCAVATE TO REQ'D DEPTH & NO FURTHER. DO NOT DISTURB SOIL BENEATH NEW FOOTINGS.
- 5. DO NOT ALLOW EXCAVATED SOIL TO DRY OR GET WET. ANY CHANGE IN MOISTURE CONTENT OF SUPPORTING SOIL SHALL BE REMEDIED BY SCARIFACATION TO A DEPTH OF 12" AND COMPACTION OF 95% OF OPTIMUM PER ASTM STANDARDS
- 6. OWNER SHOULD SEAL ALL JOINTS, CRACKS, & PENETRATIONS IN WALL ANNUALLY PRIOR TO RAINY SEASON.

PROJECT SUBMITTALS & REQUESTS FOR INFORMATION:

- 1. INFORMATION CONTAINED IN THESE GENERAL NOTES & CONSTRUCTION NOTES MIGHT BE AMENDED BY INFORMATION IN CONTRACTORS SUBMITTALS AND BY ENGINEER OF RECORD'S RESPONSES TO REQUESTS FOR INFORMATION.
- 2. CONTRACTOR SHALL DIRECT ALL REQUESTS FOR INFORMATION TO ENGINEER OF RECORD.
- 3. CONTRACTOR SHALL SUBMIT PRODUCT DATA SHEETS AND SPECIFICATIONS TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION FOR ALL PRODUCTS USED ON THE PROJECT.
- 4. CONTRACTOR SHALL PROVIDE BOUND COPIES OF ALL WARRANTIES, MANUALS, & INSTRUCTIONS, ETC. TO E.O.R. AT END OF PROJECT.
- 5. CONTRACTOR SHALL HIRE ENGINEER OF RECORD FOR THESE SERVICES UNLESS HIRED BY OWNER.

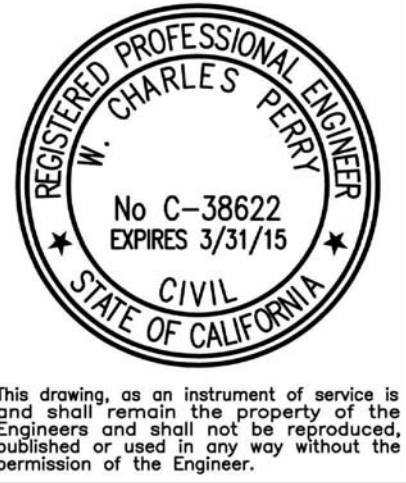
CONCRETE & REINFORCING STEEL:

- 1. ALL CONCRETE SHALL BE F'C=2500 PSI MIN. USE 6-SACK MIX OF TYPE IIA CEMENT. MAX W/C RATIO OF 0.5 MAX AGGREGATE SIZE 3/4".
- 2. SANDBLAST OR ROUGHEN & CLEAN EXISTING CONCRETE SURFACES WHEN CASTING NEW CONCRETE AGAINST EXISTING CONCRETE.
- 3. APPLY WELD-CRETE BONDING AGENT (OR EQUIVALENT) TO EXISTING CONCRETE SURFACES.
- 4. ALL REINFORCING STEEL SHALL HAVE FY=60 KSI MIN.
- 5. LEVELING/TOPPING COMPOUNDS SHALL BE QUICKCRETE SAND TOPPING MAX.
- 6. FLATWORK REPAIRS SHALL BE PERFORMED WITH SHRINKAGE COMPENSATING TYPE 1 CEMENT.
- 7. ALL CONCRETE WORK SHALL COMPLY WITH THE CURRENT ACI MANUAL OF STANDARD PRACTICE
- 8. ALLREINFORCING STEEL WORK SHALL COMPLY WITH THE CURRENT CRSI MANUAL OF STANDARD PRACTICE.

| REVISIONS | |
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| NO. | DATE |
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| | |

W. CHARLES PERRY & ASSOCIATES

231 W. 41ST AVENUE
SAN MATEO, CA 94403
650-638-9546



DRAWINGS ARE
HALF SCALE
AND NOT FOR
CONSTRUCTION
WHEN SHOWN
ON 11X17 OR
NOT WET
SIGNED AND
DATED

SOFT-STORY SEISMIC RETROFIT
17 Hoff Street
17 Hoff Street
San Francisco, CA 94110

| | | |
|---------------|-----------|---------|
| General Notes | DATE: | 5-19-14 |
| | DRAWN BY: | DMH |
| | JOB #: | |
| | G1 | |

FASTENERS:

- 1. ALL FASTENERS TO BE HOT DIPPED GALVANIZED.
- 2. ALL HOT DIPPED GALVANIZED FASTENERS TO MEET STANDARD ASTM-A153.
- 3. ALL EXTERIOR FASTENERS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH 2010 CSBC STANDARD 25-17 AND PROJECT SPECIFICATIONS.

FLASHING:

- 1. ALL FLASHING TO BE HOT DIPPED GALVANIZED 24 GAUGE GSM OR BETTER.
- 2. HEM ALL CUT EXPOSED EDGES.
- 3. USE BONDERIZED GSM OR PICKLE GSM PRIOR TO PRIMING.
- 4. PRIME GSM PRIOR TO INSTALLATION.
- 5. SEAL ALL LAPPED HORIZONTAL GSM JOINTS WITH MOISTOP SEALANT.
- 6. SOLDER ALL CORNERS & EDGE JOISTS.
- 7. SLOPE ALL Z FLASHING & HEAD FLASHING TO DRAIN.
- 8. ALL SHEET METAL WORK SHALL CONFORM W/ SMACNA ARCHITECTURAL SHEET METAL MANUAL.

DECAY RESISTANCE:

- 1. TREAT ALL CUT ENDS AND SIDES OF PTDF WITH DECAY RESISTANT SURFACE TREATMENT SUCH AS SODIUM OCTOBORATE OR EQUIVALENT PRIOR TO FURTHER PAINTING OR STAINING.

MINOR DECAY REPAIRS:

- 1. REMOVE DECAYED WOOD.
- 2. SATURATE DAMAGED SURFACE WITH "CPES" AND ALLOW TO CURE PER MANUAL INSTRUCTIONS.
- 3. FILL VOID WITH FILLER EPOXY AND ALLOW TO CURE PER MANUFACTURERS INSTRUCTIONS. COLOR TO MATCH EXISTING WOOD WITH "BROWN EPOXY COLORING AGENT."
- 4. SHAPE EPOXY FILLER TO MATCH EXISTING SURFACE.

NOTE: ALL PRODUCTS AVAILABLE FROM HTTP://WWW.ROTDCTOR.COM. EQUIVALENT PRODUCTS MAY BE SUBSTITUTED UPON REVIEW AND APPROVAL BY ENGINEER OF RECORD.

PAINTING & STAINING:

- 1. PAINT REPAIRED PORTIONS OF BUILDING. THIS INCLUDES TRIM, FLASHING, DOWN SPOUTS, & DOORS SHALL BE PAINTED OR STAINED AS SPECIFIED BELOW. PAINT TO ARCHITECTURAL LIMITS.
- 2. PAINT PER PAINTING AND DECORATION CONTRACTORS OF AMERICA HANDBOOK, AND PAINT MFG.'S SPECIFICATIONS. SEMI-GLOSS ENAMEL AT KITCHEN AND BATH. FLAT LATEX ELSEWHERE INSIDE AND OUTSIDE. GARAGE AND SHOP SPACES ARE TO BE PAINTED. PAINT ALL FLASHING, GUTTERS, AND LEADERS. PAINT SHALL BE PRIMER & 2 TOP COAT UNLESS OTHERWISE SPECIFIED BY PAINT MANUFACTURER. INTERIOR WOODWORK, TRIM DOORS AND WINDOWS SHALL BE PAINTED WITH SEMI-GLOSS ENAMEL. PAINT GRADE AND COLOR PER OWNER'S SPECIFICATIONS AND APPROVAL. USE DUN EDWARDS OR EQUIVALENT.
- 3. PRIME.
- 4. FILL ALL GAPS, CRACKS, VOIDS, & UNEVEN SURFACES WITH ACRYLIC PUTTY/CAULKING.
- 5. SEAL ALL GAPS AT DOORS, WINDOW, & PENETRATIONS WITH ACRYLIC SEALANT.
- 6. TOP COAT 2 TIMES. PAINT SHOULD BE SPECIFICALLY FORMULATED FOR INTENDED SURFACE FINISH.
- 7. ALLOW GUARDRAILS AND POSTS TO SEASON FOR 8 WEEKS.
- 8. STAIN GUARDRAILS AND POSTS WITH DUNN-EDWARDS SEMI-SOLID EXTERIOR STAIN OR EQUIVALENT. PUT FUNGICIDE IN STAIN PRIOR TO APPLICATION.

TECHNICAL NOTES:

A. GENERAL

- 1. All existing concrete and wood material which will be port of the strengthening work shall be in sound condition and free from defects which would substantially reduce the capacity of the material. Any substandard material shall be repaired or replaced to meet minimum building code requirements. New foundations shall meet current Building Code requirements.
- 2. All metal connectors and hardware shall meet on approved standard for its intended use and be installed per manufacturer's instructions, and in accordance with the requirements of these standards. Alternate details may be approved by the building official provided detailed information and calculations are submitted and approved.
- 3. All existing under floor ventilation shall be maintained.
- 4. Due to the corrosive nature of new pressure treated wood which con cause premature failure of the metal hardware, fasteners in new pressure treated wood shall be hot dipped galvanized fasteners (meeting ASTM A 153) and connectors (ASTM A 653 class G185 sheet), or better.
- 5. LEGEND:
(E) = Existing construction; (N) = New construction
4/S1 = Refer to detail 4 on sheet S1
NTS = Not to scale ; Min = Minimum
FFC = Floor Framing Clip

B. MUDSILL CONNECTIONS

- 1. New bolts or UFP 1 0 anchors required by reinforcement schedule 4/S1 shall be installed within plywood braced panel s. See detail 2/52.
- 2. Where on existing continuous rim joist, end joist, or solid blocking between joists, does not exist above the perimeter cripple wall or mud sill, new blocking and/or supplemental connections shall be provided ond subject to approval by the building official.
- 3. All new mud sill bolts shall have a 3"X3"X1/4" plate washer installed between the mud sill (or blocking) and the nut.
- 4. New bolts shall be 1-1/2" inches minimum from the edges of the mud sill and 6" from the ends .
- 5. Existing anchor bolts are generally not reliable and should not be considered as meeting the requirements of this plan set.
- 6. New bolts or anchors within new braced panels shall be placed as follows:
 - a) one bolt or anchor at each end of the braced bay
 - b) additional bolts or anchors at 32" on center or less.
 - c) additional foundation bolts or anchors as required by the schedule detail 4/S1.
- 7. New mudsill plates shall be pressure-treated douglas- fir or foundation-grade redwood.
- 8. New steel bolts shall conform to ASTM A307. Adhesive or expansion type anchors shall be installed per manufacturer's instructions. Third party special inspection is not required. Expansion bolts shall not be used when the installation causes cracking of the foundation wall at the location of the bolt. The use of "adhesive type" anchors is strongly encouraged.
- 9. Provide new mudsill bolts or anchors outside of braced panels at 6'-0" on center or less.

C. FLOOR TO CRIPPLE WALL/MUDSILL CONNECTION

- 1. See "Reinforcement Schedule" 4/S1 ond detail 5/S2 for required connection.
- 2. Increase length of nails 1/2" when attaching floor framing clips through plywood.
- 3. If splices in double top plates do not have a minimum 48" lap, provide a new minimum 4' strap. See detail 6A/S2.
- 4. Existing single top plates shall reinforced with a 16ga x 48" metal strap. See detail 6B/S2.
- 5. Where plate straps occur within a braced panel, the strop shall be placed over the plywood and the plywood nails omitted where the strap in installed.

D. PLYWOOD BRACED PANEL INSTALLATION

- 1. See 4/S1 "Rei1lforcement Schedule" for the required length of new plywood panel bracing along each wall line. See "Sample Foundction Plan" for the definition of a "wall line" and an example of plywood panel layout.
- 2. Install plywood braced panels of each end of each wall line and space additional panels, as needed, along each wall line.
- 3. Plywood braced panels closest to the ends of wall lines shall be located as near to the ends os possible. Panels may be located away from the ends of a wall line when existing obstructions or limited clearance necessitates such relocation.
- 4. Plywood braced lpanels should be nearly equal in length and should be nearly equal in spacing along the length of the wall where possible.
- 5. The length of each individual panel must be twice the height of the cripple wall being braced, but never less than 48 inches in length.
- 6. The perimeter of oil new plywood braced panel shall be nailed to existing cripple wall studs, top plate(s) and the mudsill at 4" on center. Attach plywood to intermediate cripple wall studs at a maximum of 12" on center.
- 7. Nails shall be 8d common x 2-1/2" long with a minimum shank diameter of .131 inches (.131 x 2-1/2"). .131 x 2-1/8" nails may be used for installations using nail guns.
- 8. Plywood braced panel shall be 5-PLY, 15/32" exterior grade CDX S1 (3-PLY 15/32" is not acceptable).
- 9. Maintain a minimum edge distance 3/8", from center of nail to any plywood edge.
- 10. Do not overdrive, countersink, or otherwise damage the "outermost ply" when installing nails.
- 11. Do not space nails closer than 3-1/2" in plywood braced panels.
- 12. Nails must be firmly embedded in framing behind plywood without causing splitting. See detail 4A/S2 for double stud at plywood joints.

STUCCO:

- 1. CONTRACTOR TO PARTIALLY REMOVE STUCCO AND BUILDING PAPER WHERE REQUIRED, WHERE WATER DAMAGED SUBSTRAIT IS ENCOUNTERED, CONTRACTOR TO REMOVE SECTION OF BOARD, AND CHECK FOR ADDITIONAL WATER DAMAGE. IF DAMAGED WOOD IS ENCOUNTERED CONTRACTOR TO NOTIFY E.O.R. PRIOR TO REMOVING ADDITIONAL GYPSUM BOARD & STARTING ANY REPAIRS.
- 2. CONTRACTOR TO INSTALL 2 LAYERS OF 'JUMBO TEX 60' PAPER, LAPPED TO DRAIN, AT ALL (N) AND REPAIRED LOCATIONS.
- 3. INSTALL GALVANIZED STUCCO LATH, SCREEDS, & EXPANSION JOINTS IN ACCORDANCE W/ASTM C1063-99 AND MFG.'S RECOMMENDATIONS.
- 4. PROVIDE 7/8" NEW STUCCO WHERE REQ'D. TO MATCH EXISTING FINISH. APPLY STUCCO AS FOLLOWS:
 - A. MIN. 3 COATS PER ASTM C 926-98A & NWCB STUCCO & PLASTER RESOURCE GUIDE
 - B. TEXTURED TO MATCH EXISTING STUCCO
 - C. SCRATCH AND BROWN COATS SHOULD BE WET CURED FOR 7 DAYS MIN. ALLOWED TO HARDEN FOR 14 DAYS PER STUCCO ASSOCIATION RECOMMENDATIONS. BEFORE ANY SUBSEQUENT COATS ARE APPLIED. PATCH ALL CRACKS IN BROWN COAT PRIOR TO APPLYING FINISH COAT. THE FINISH COAT OF STUCCO SHOULD BE ALLOWED TO CURE FOR 28 DAYS PRIOR TO PAINTING.
- 5. FOR ADDITIONAL CURING GUIDELINES, CONTRACTOR TO FOLLOW NORTHWEST WALL AND CEILING BUREAU GUIDELINE & THE CBC WET CURE 7 DAYS MIN.
- 6. WHEN JOINING OLD STUCCO TO NEW, BREAK OLD STUCCO TO AN INTACT, UNEVEN EDGE. REMOVE ALL LOOSE OR CRACKED STUCCO. LEAVE 2 INCH MINIMUM WIRE LATH EXPOSED. LAP NEW BUILDING PAPER TO (E) BUILDING PAPER, 2" MIN. ON HORIZONTAL JOINTS & 6" MIN ON VERTICAL JOINTS. COAT ALL (E) SURFACES W/ WELDCRETE OR COMPATIBLE BONDING AGENT. APPLY SCRATCH AND BROWN COATS AND LEAVE ROOM FOR (N) FINISH COAT TO MATCH (E) FINISH COAT. BLEND (N) FINISH COAT INTO (E) FINISH COAT, BOND WITH WELDCRETE.
- 7. CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO ENGINEER OF RECORD FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

REPAIR STUCCO:

- 1. INSTALL NEW WEEP SCREED & COUNTER-FLASHING REGLET WHERE SHOWN & AS SHOWN
- 2. INSTALL NEW BUILDING PAPER & LATH; TIE OLD LATH TO NEW; LAP OLD LATH WITH NEW
- 3. INSTALL NEW 3-COAT STUCCO SYSTEM. MATCH EXISTING TEXTURE. BLEND NEW STUCCO TO OLD ACROSS JOINTS
- 4. INSTALL NEW COUNTER-FLASHING
- 5. PAINT NEW STUCCO & COUNTER-FLASHING TO MATCH EXISTING. BLEND NEW PAINT TO OLD.
- 6. INSTALL NEW COUNTER-FLASHING

SPECIAL INSPECTIONS:

CONTRACTOR IS RESPONSIBLE FOR HIRING SPECIAL INSPECTORS. COLLECTING REPORTS, AND DISTRIBUTING COPIES OF REPORTS TO E.O.R., OWNER, & CITY OF SAN FRANCISCO, UNLESS HIRED BY OWNER

- 1. ANCHOR BOLT INSTALLATION
- 2. CONCRETE FORMWORK & REBAR PLACEMENT
- 3. EPOXY SETTING OF REBAR DOWELS

INSPECTIONS BY ENGINEER OF RECORD:

- ENGINEER OF RECORD SHALL BE HIRED BY CONTRACTOR TO PROVIDE THE REQUIRED STRUCTURAL OBSERVATIONS AND PERIODIC & FINAL REPORTS TO THE CITY OF SAN FRANCISCO DEVELOPMENT & ENVIRONMENTAL SERVICES DEPARTMENT, BUILDING & SAFETY, PER SAN FRANCISCO CITY ORDINANCE NO. 31-2007, SECTION 7-1220.1709
- 0. PRE-BID INSPECTION WITH CONTRACTOR & OWNER
 - 1. AFTER DEMOLITION
 - 2. AFTER EXCAVATION, FORMWORK, & REBAR PLACEMENT
 - 3. DURING ANCHOR BOLT & HOLDOWN INSTALLATION
 - 4. AFTER PLYWOOD SHEATHING /PRE-FABRICATED SHEAR PANEL/MOMENT FRAME
 - 5. AFTER WALLBOARD INSTALLATION & TAPING AND FIREPROOFING
 - 6. AFTER PLASTERING & WATERPROOFING AND LATH INSTALLATION
 - 7. AFTER SCRATCH & BROWN COAT STUCCO INSTALLATION
 - 8. AFTER FINISH COAT INSTALLATION
 - 9. PUNCH-LIST INSPECTION
 - 10. FINAL INSPECTION
 - A. WHERE NEW FOUNDATION ELEMENTS ARE REQUIRED
 - 1. AFTER EXCAVATION, FORMWORK & REBAR PLACEMENT
 - 2. EPOXY SETTING OF REBAR DOWELS
 - B. WHERE FLATWORK IS INSTALLED TO IMPROVE DRAINAGE
 - 1. AFTER SURFACE PREPARATION & INSTALLATION OF SCREEDS
 - 2. AFTER PLACEMENT & FINISHING OF (N) FLATWORK
 - C. WHERE COLUMNS & POST BASES ARE REPAIRED
 - 1. AFTER DEMOLITION OF CONCRETE & DAMAGED PORTIONS OF POST BASES
 - 2. AFTER WELDING ON (N) POST BASES TO REMNANTS OF (E) POST BASES
 - 3. AFTER INSTALLATION OF (N) COLUMNS
 - D. ENGINEER OF RECORD SHALL BE NOTIFIED TWO (2) BUSINESS DAYS IN ADVANCE OF ALL REQ'D INSPECTIONS. IF ENGINEER OF RECORD IS NOT NOTIFIED OF INSPECTIONS, OR DOES NOT PERFORM THEM, CONTRACTOR SHALL ACCEPT FULL LIABILITY FOR ALL LIABILITY.

REVISIONS

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SOFT-STORY SEISMIC RETROFIT

17 Hoff Street

17 Hoff Street
San Francisco, CA 94110

General Notes

DATE:

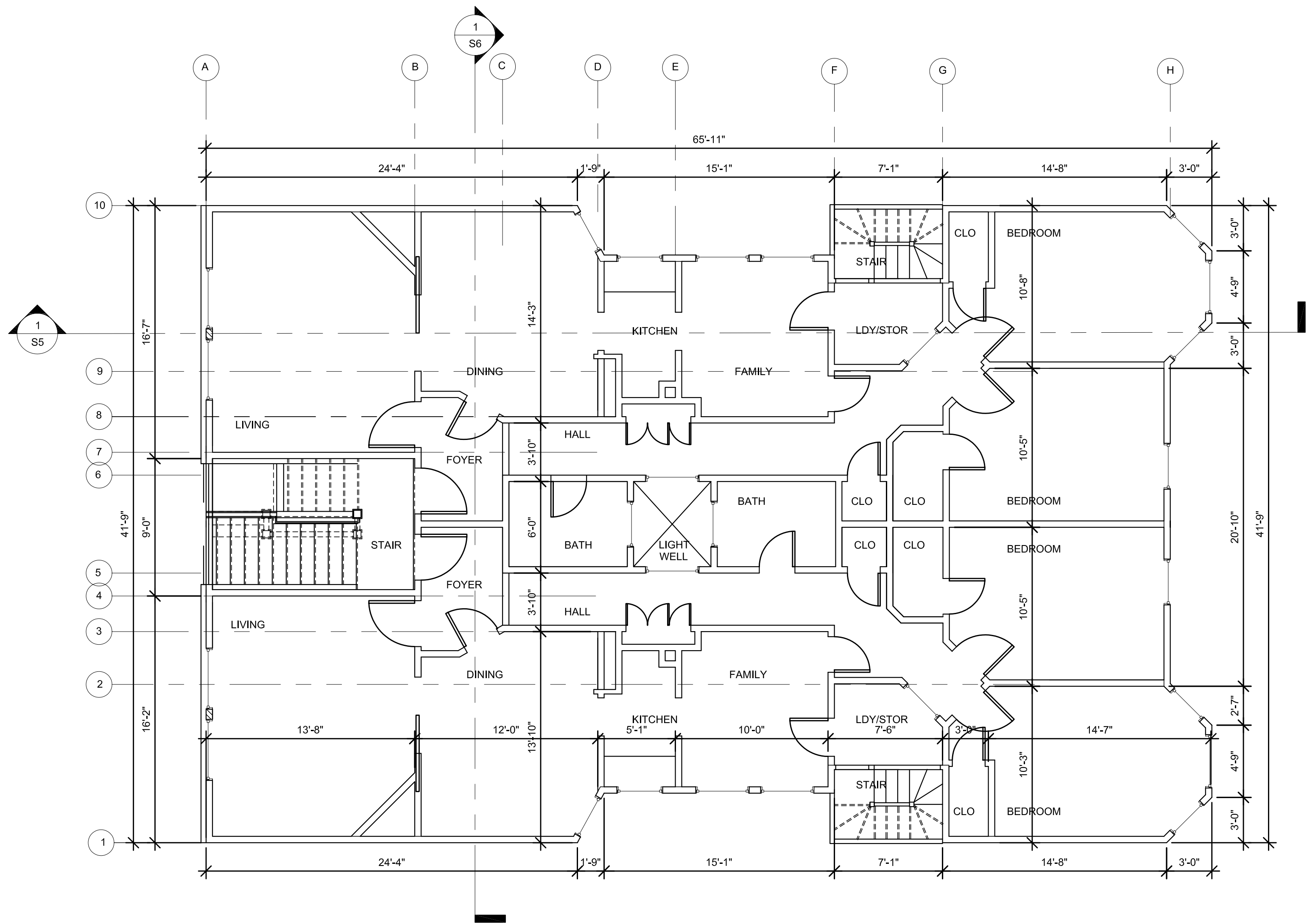
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DRAWN BY:

DMH

JOB #:

G2

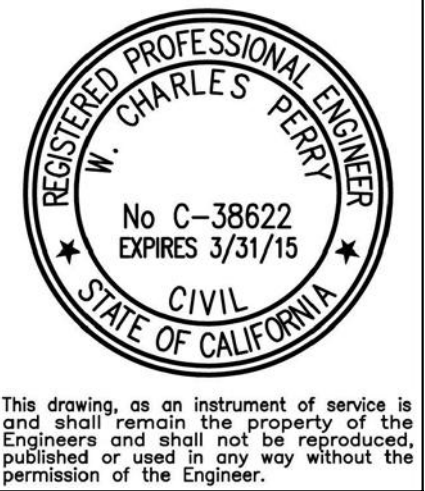


1 (E) Floor Plan - First Floor
3/16" = 1'-0"

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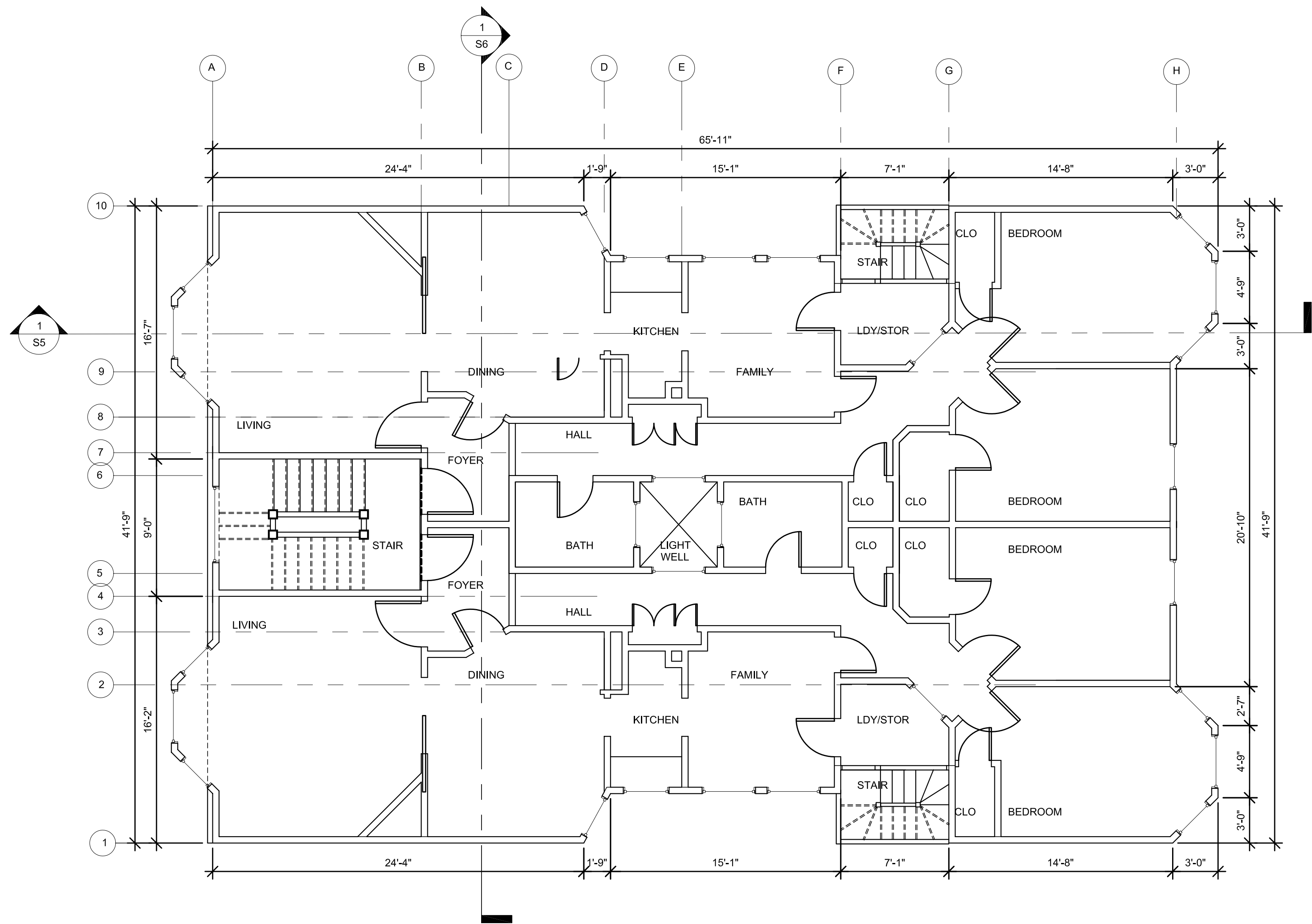
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17 Hoff Street
San Francisco, CA 94110

(E) Floor Plan - First Floor

3/16" = 1'-0"

DATE: 5-23-14
DRAWN BY: DMH
JOB #:



1 (E) Floor Plan - Second & Third Floor
3/16" = 1'-0"

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SOFT-STORY SEISMIC RETROFIT
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San Francisco, CA 94110

(E) Floor Plan - Second &
Third Floors

3/16" = 1'-0"

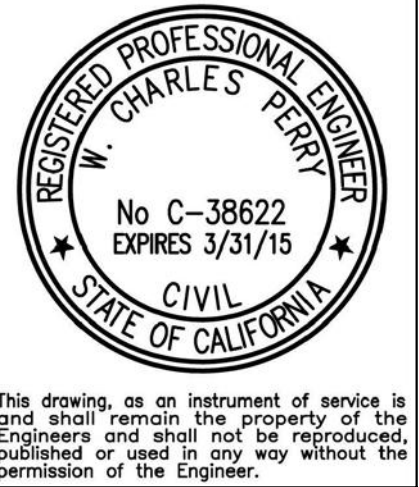
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A2

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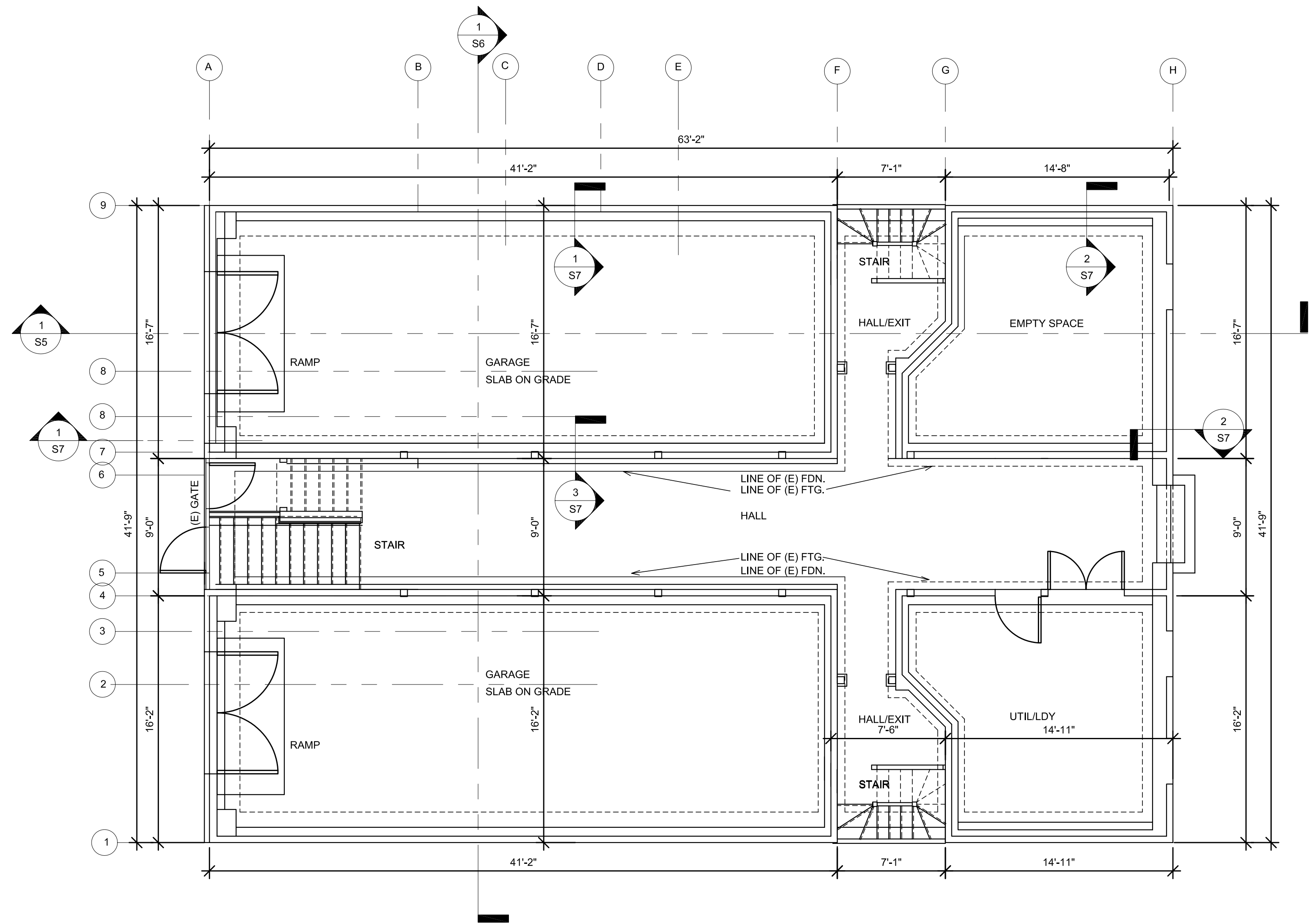
SOFT-STORY SEISMIC RETROFIT
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17 Hoff Street
San Francisco, CA 94110

(E) Foundation Plan

3/16" = 1'-0"

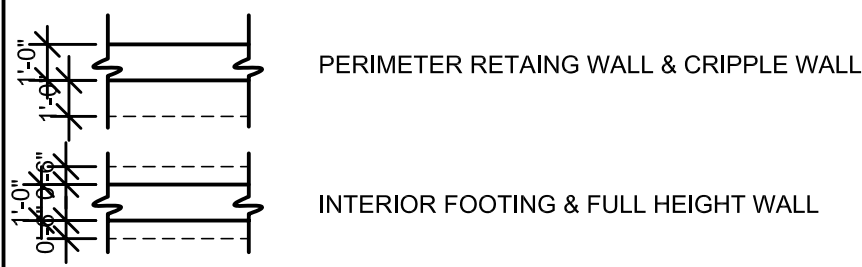
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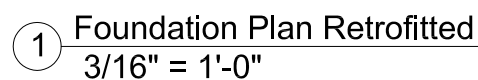
S1



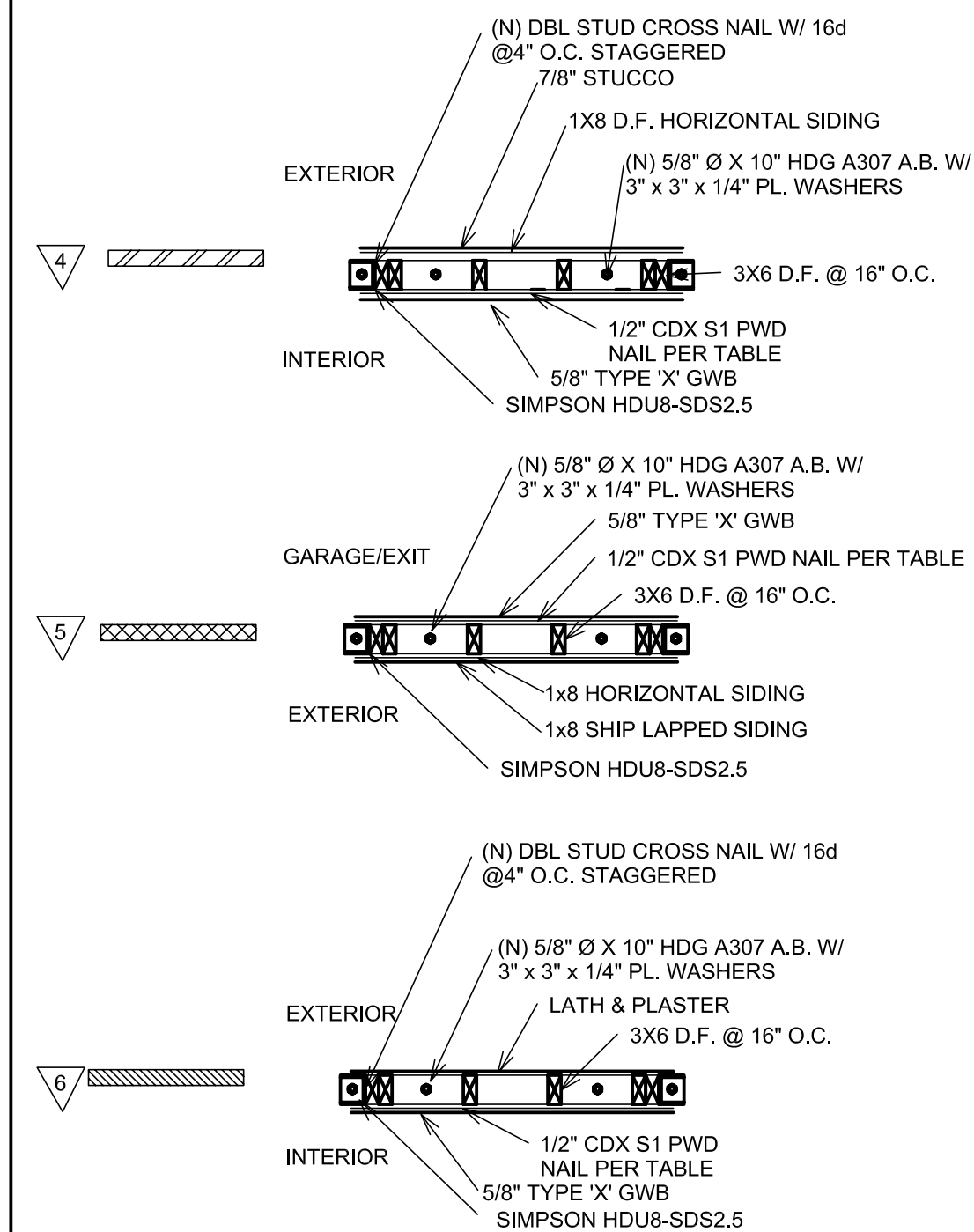
① (E) Foundation Plan
3/16" = 1'-0"

(E) FOUNDATION TYPES/17 HOFF ST.





(R) PH. I RETROFIT WALL TYPES/17 HOFF ST.



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17 Hoff Street

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Foundation Plan Retrofitted

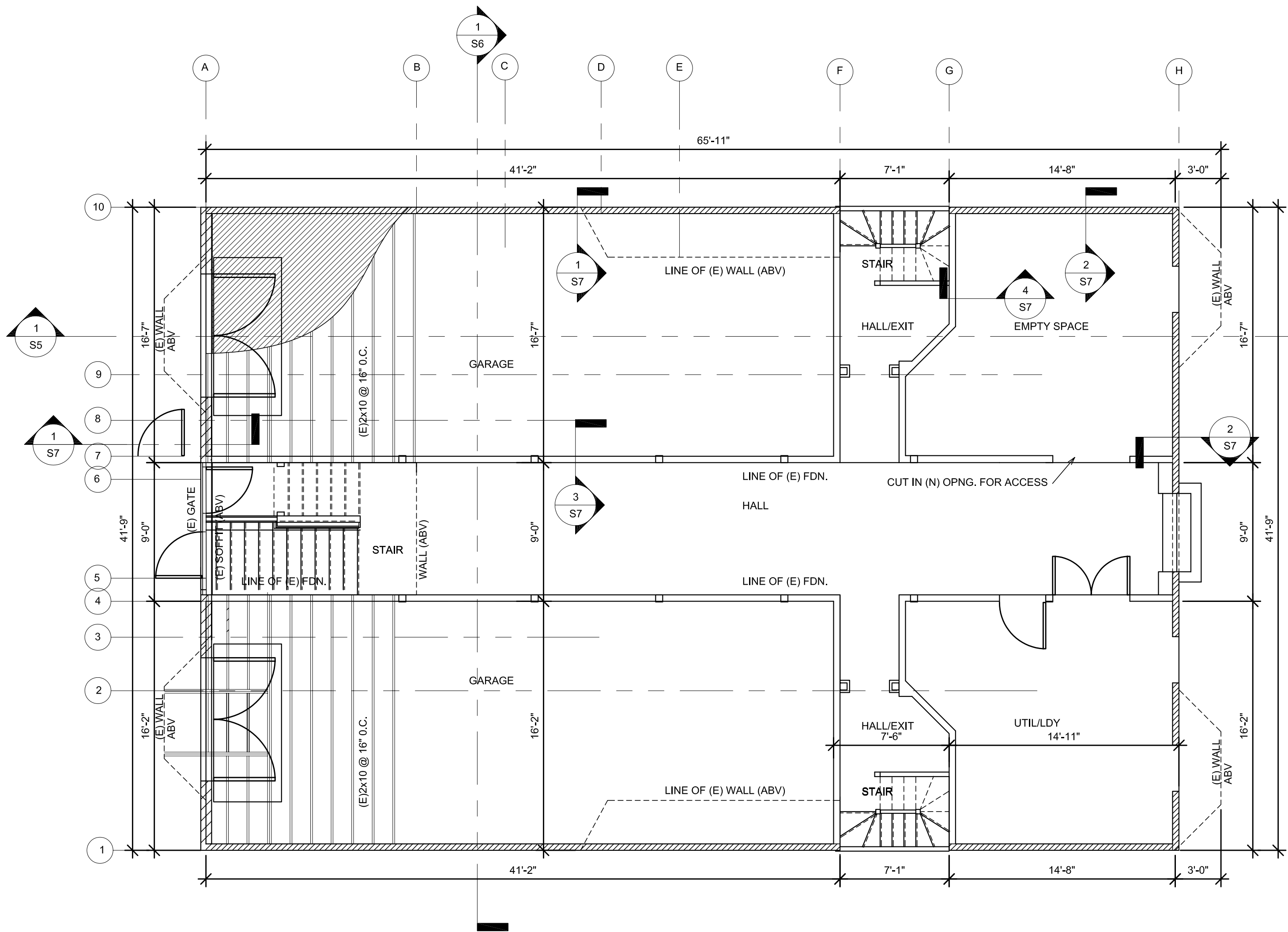
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DATE: 5-23-14

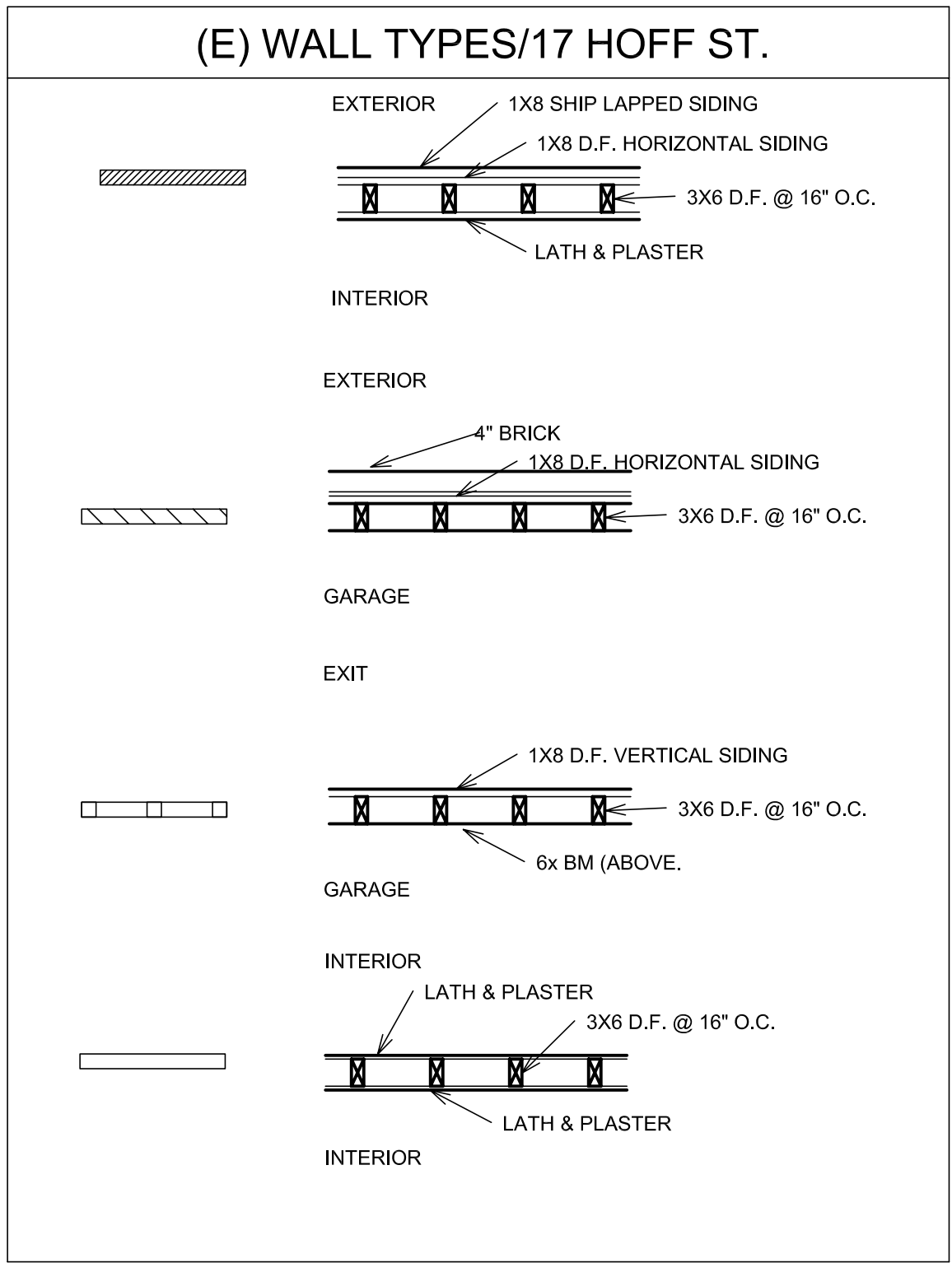
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S1.R



1 (E) Basement Shear Wall & First Floor Framing Plan
3/16" = 1'-0"



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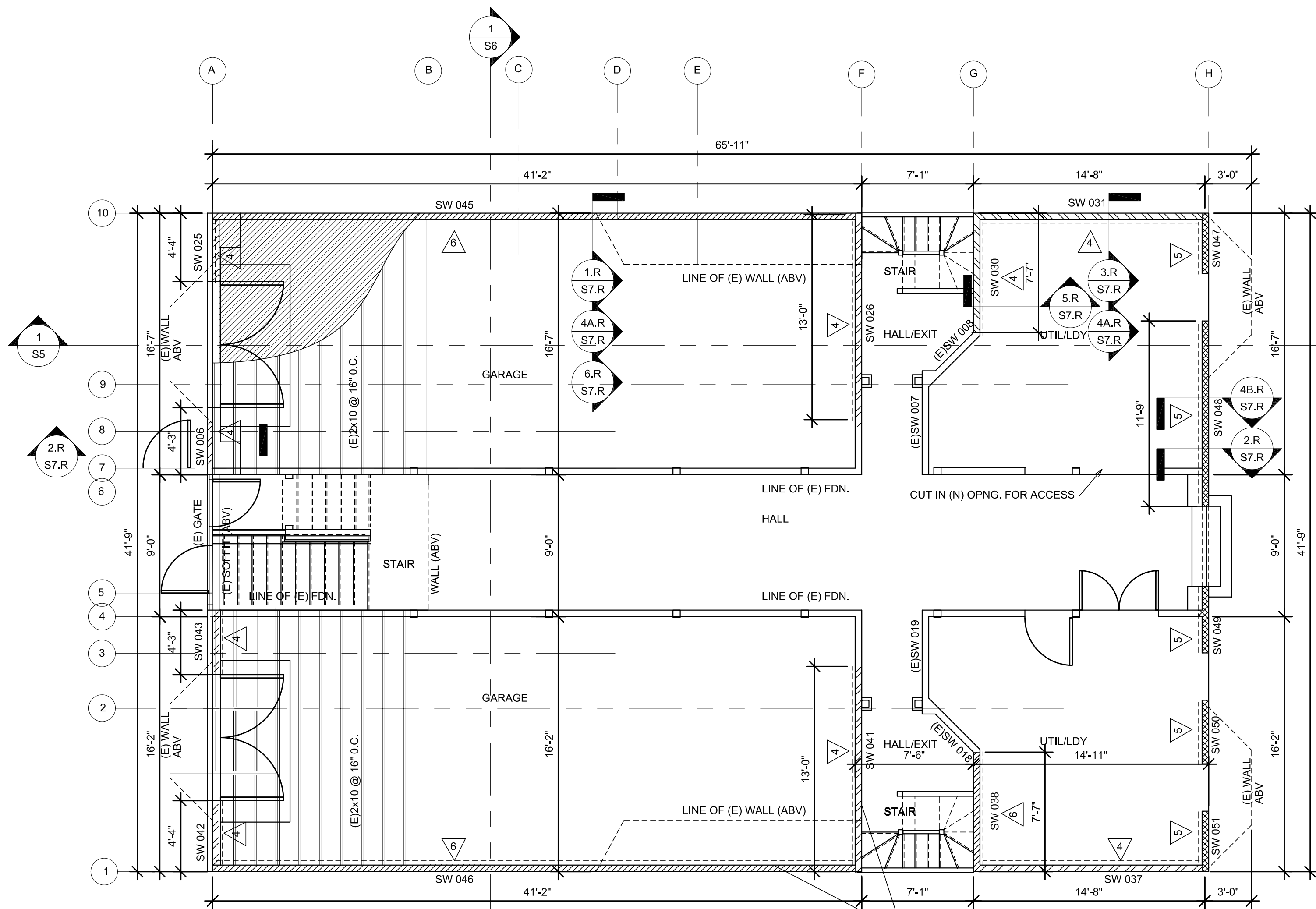
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**(E) Basement Shear Wall &
First Floor Roof Framing Plan**

3/16" = 1'-0"

DATE: 5-23-14
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JOB #:

S2



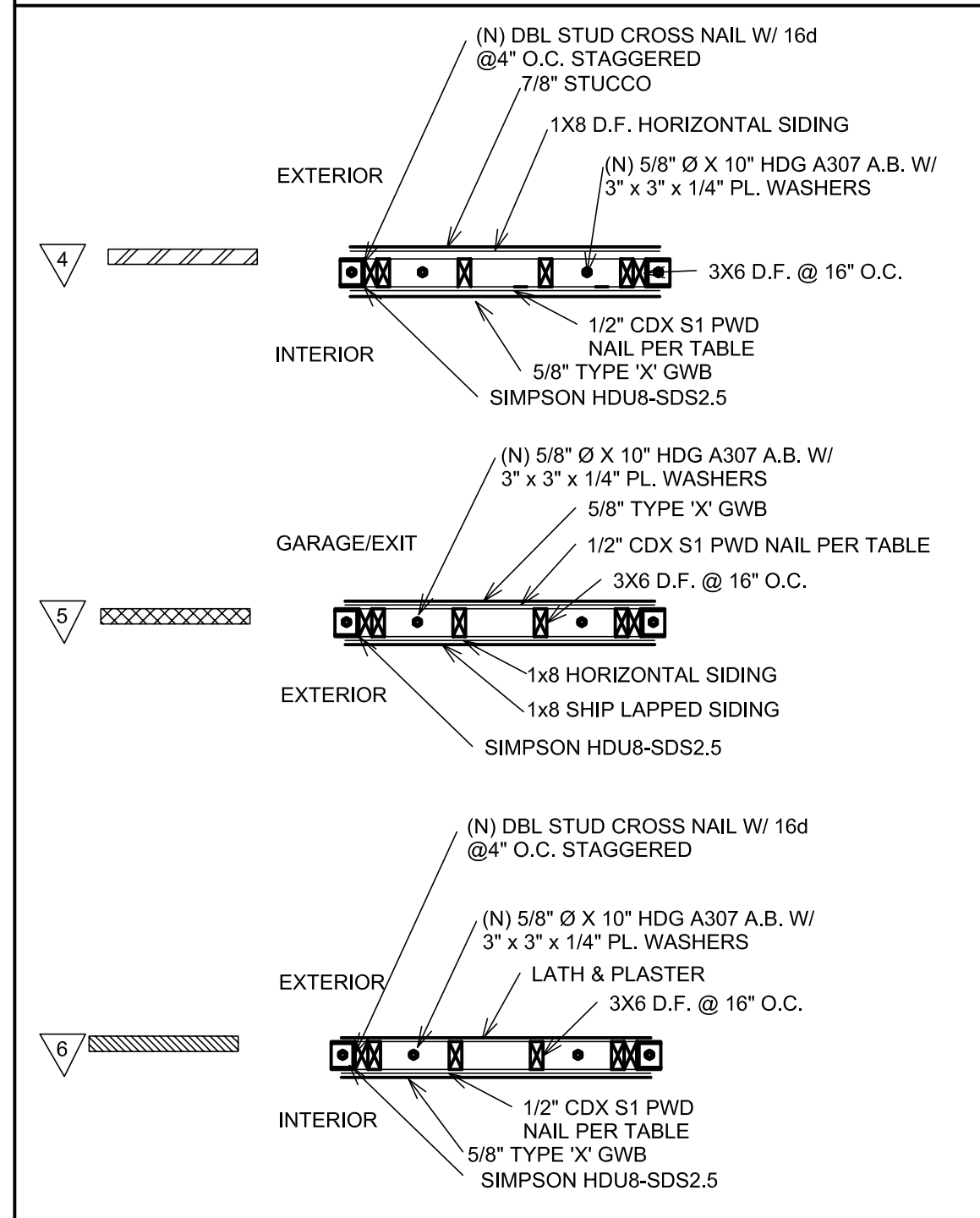
1 Basement Shear Wall & First Floor Framing Plan Retrofitted
3/16" = 1'-0"

(N) SIMPSON HDU8-SDS 2.5 (TYP. @ EA. END); 7/8" Ø X 24" HDG A307 A.B.; CROSS NAIL DBL. STUDS @ WALL ENDS AS REQ'D TO CREATE 4" MIN. THK. COLUMN. USING 16d NAILS @ 6" O.C. STAGGERED; 5/8" Ø X 10" A/B W/ 3" x 3" x 1/4" PL. WASHERS @ 32" O.C. IN SIMPSON SET-XP EPOXY; EXTERIOR SIDING TO REMAIN; FIRE TAPE & FIRE CAULK OVER (N) PWD; TEXTURE & PAINT TO MATCH; PER ASSEMBLY A004 IN FEMA P607 ANALYSIS FOR BUILDING

(N) SHEAR WALL TYPES/17 HOFF STREET

| ASSY # SH. WALL # TYPE | | | PHASE I WORK | | |
|------------------------|-------|-------------------------------------|--|---|-----------------------|
| | | | PWD & NAILS | HOLDOWNS | STRAP TO (E/N) HEADER |
| 4 | SW006 | GARAGE EXT-INT STRONG | 15/32" STRUCT 1 PWD 10d COMMON NAILS @ 4" O.C. | SIMPSON HDU8-SDS 2.5 X 6" END POSTS 7/8"Ø X 24" A307 ALL THREAD ROD SET IN SIMPSON SET-XP EPOXY | MST 27 |
| | SW025 | | | | MST 27 |
| | SW026 | | | | MST 27 |
| | SW030 | | | | MST 27 |
| | SW031 | | | | |
| | SW037 | | | | |
| | SW041 | | | | |
| | SW042 | | | | MST 27 |
| 5 | SW043 | | | | MST 27 |
| | SW047 | UTIL./STOR. INT-EXT WEAK | 15/32" STRUCT 1 PWD 8d COMMON NAILS @ 6" O.C. | SIMPSON HDU8-SDS 2.5 X 6" END POSTS 7/8"Ø X 24" A307 ALL THREAD ROD SET IN SIMPSON SET-XP EPOXY | MST 27 |
| | SW048 | | | | MST 27 |
| | SW049 | | | | MST 27 |
| | SW050 | | | | MST 27 |
| | SW051 | | | | |
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| 6 | SW038 | GARAGE & UTIL. INT-EXT MEDIUM | 15/32" STRUCT 1 PWD 10d COMMON NAILS @ 6" O.C. | SIMPSON HDU8-SDS 2.5 X 6" END POSTS 7/8"Ø X 24" A307 ALL THREAD ROD SET IN SIMPSON SET-XP EPOXY | MST 27 |
| | SW045 | | | | |
| | SW046 | | | | |
| PHASE II WORK | | | | | |
| ASSY # SH. WALL # TYPE | | | PHASE II WORK | | |
| | | | PWD & NAILS | HOLDOWNS | STRAP TO (E/N) HEADER |
| 7 | SW001 | APARTMENT EXT-INT | 15/32" STRUCT 1 PWD 10d COMMON NAILS @ 4" O.C. | NONE | NONE |
| | SW004 | | | | |
| | SW005 | | | | |
| | SW007 | | | | |
| | SW009 | | | | |
| | SW010 | | | | |
| | SW011 | | | | |
| | SW013 | | | | |
| | SW015 | | | | |
| | SW016 | | | | |
| | SW019 | | | | |
| | SW020 | | | | |
| | SW023 | | | | |
| | SW025 | | | | |
| | SW029 | | | | |
| | 8 | | | | |
| SW029 | | | | | |
| SW031 | | | | | |
| SW045 | | | | | |
| SW047 | | | | | |
| SW051 | | | | | |
| SW057 | | | | | |
| SW058 | | | | | |
| SW051 | | | | | |
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(R) PH. I RETROFIT WALL TYPES/17 HOFF ST.



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17 Hoff Street

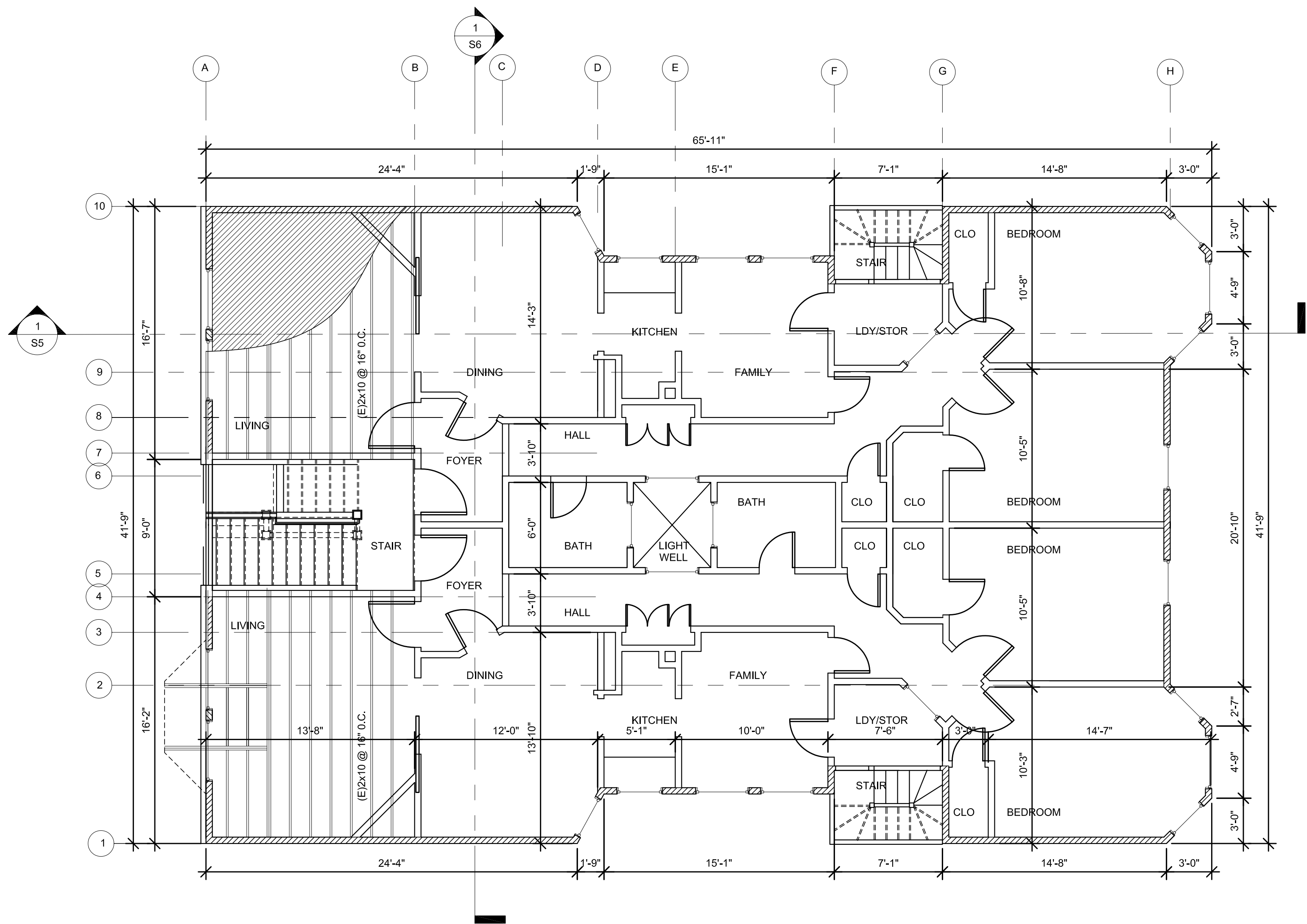
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Basement Shear Wall & First
Floor Framing Plan Retrofitted

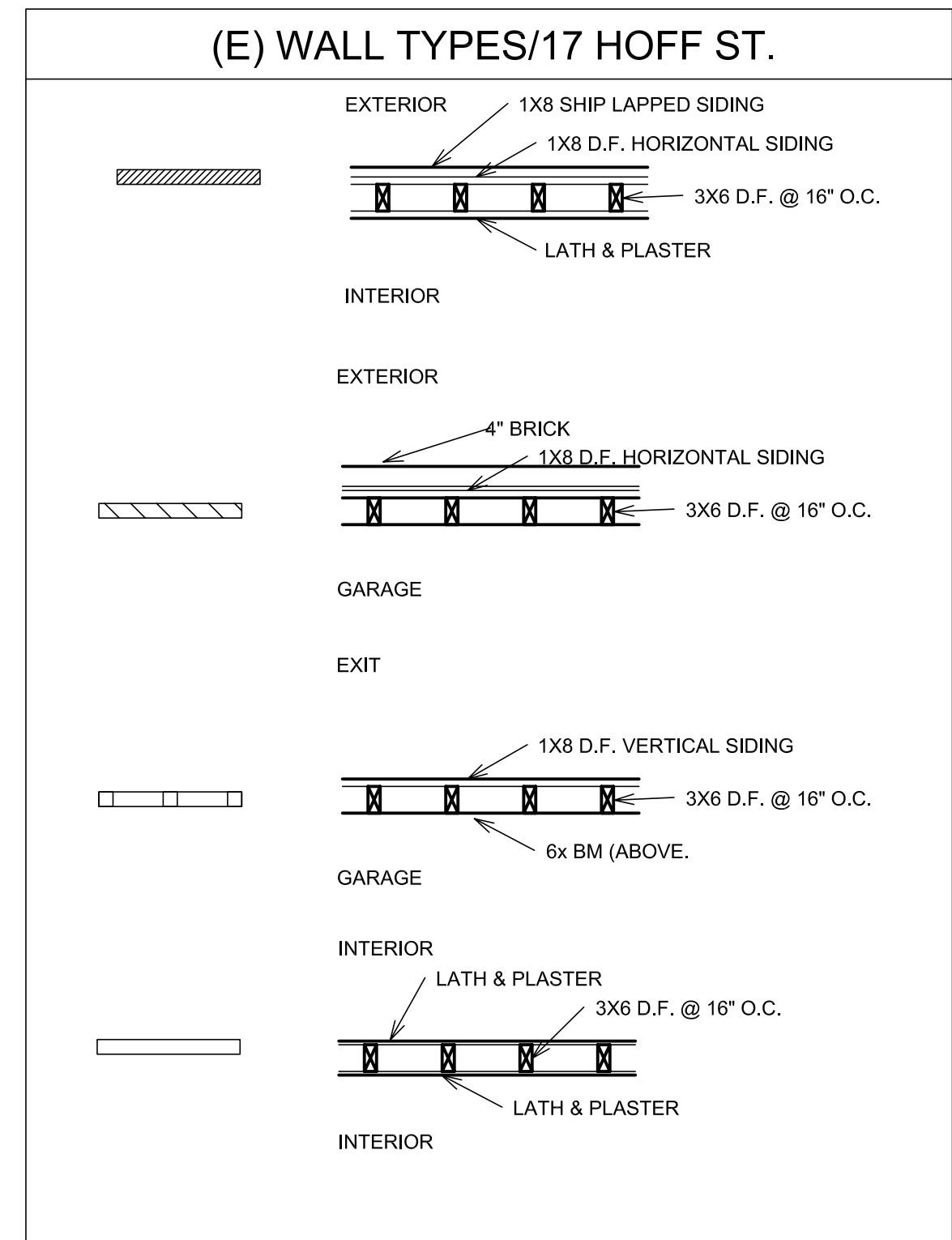
3/16" = 1'-0"

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| DATE: | 5-23-14 |
| DRAWN BY: | DMH |
| JOB #: | |

S2.R



1 (E) First Floor Shear Wall & Second Floor Framing Plan
3/16" = 1'-0"



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SOFT-STORY SEISMIC RETROFIT
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17 Hoff Street
San Francisco, CA 94110

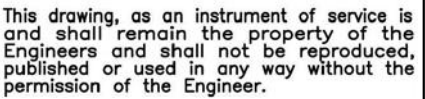
(E) First Floor Shear Wall &
Second Floor Framing Plan
3/16" = 1'-0"

DATE: 5-23-14
DRAWN BY: DMH
JOB #:

S3

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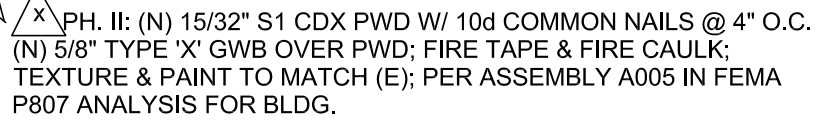
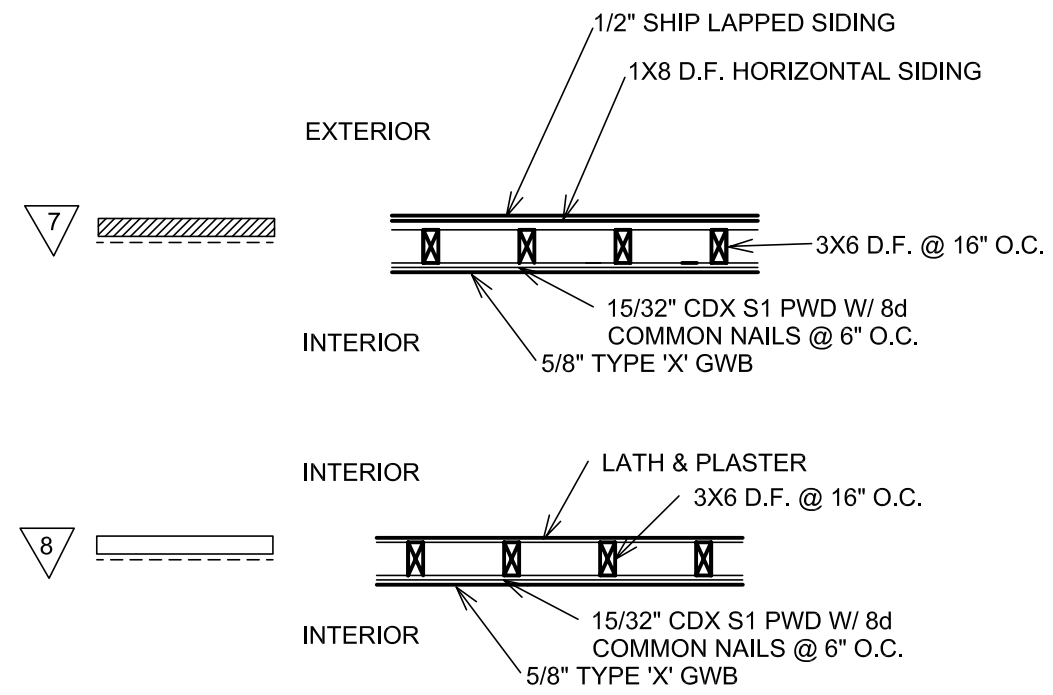


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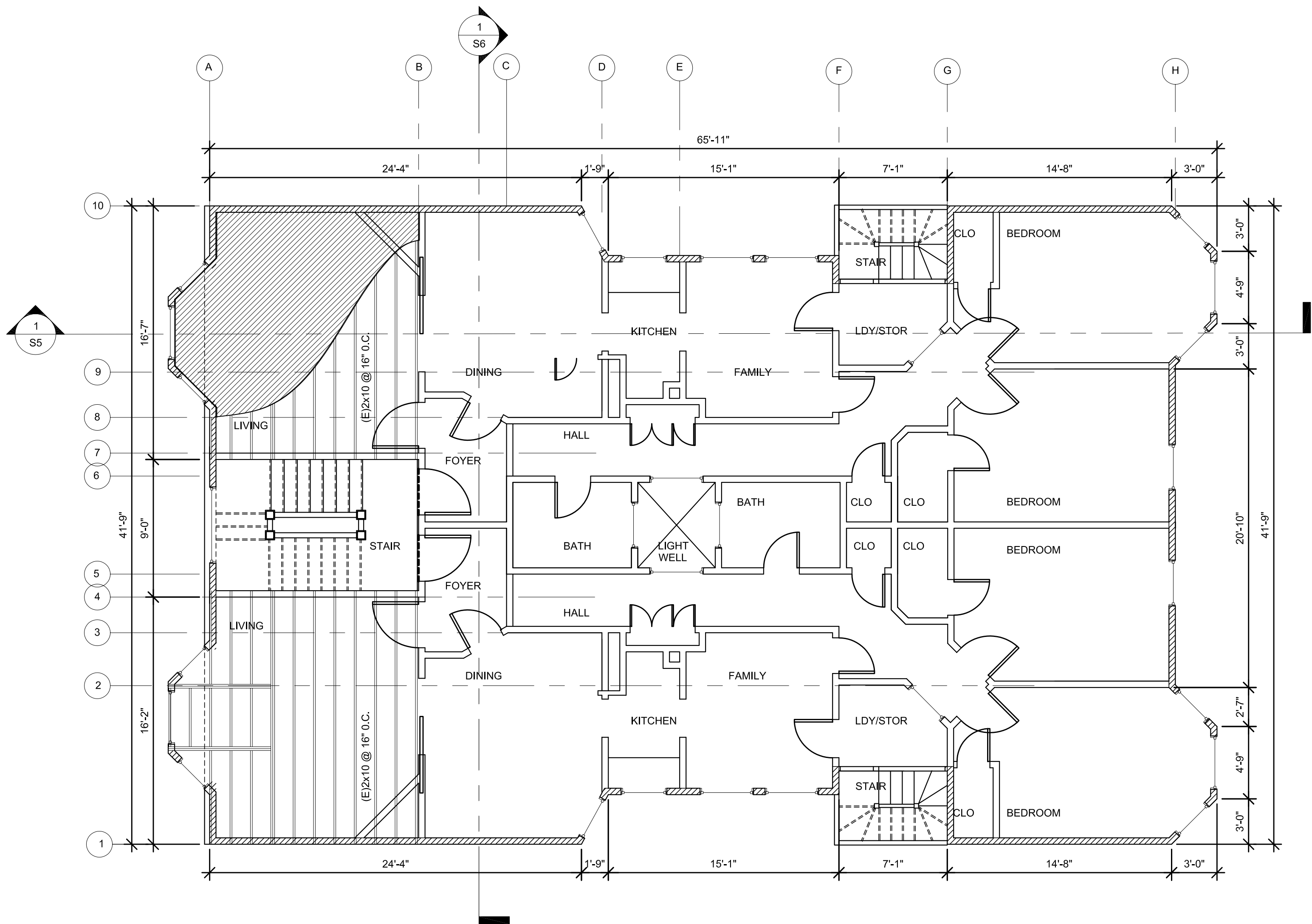
| | |
|--|----------------------|
| <p>First Floor Shear Wall & Second Floor Framing Plan Retrofitted - Phase II</p> | <p>3/16" = 1'-0"</p> |
|--|----------------------|

S3.R

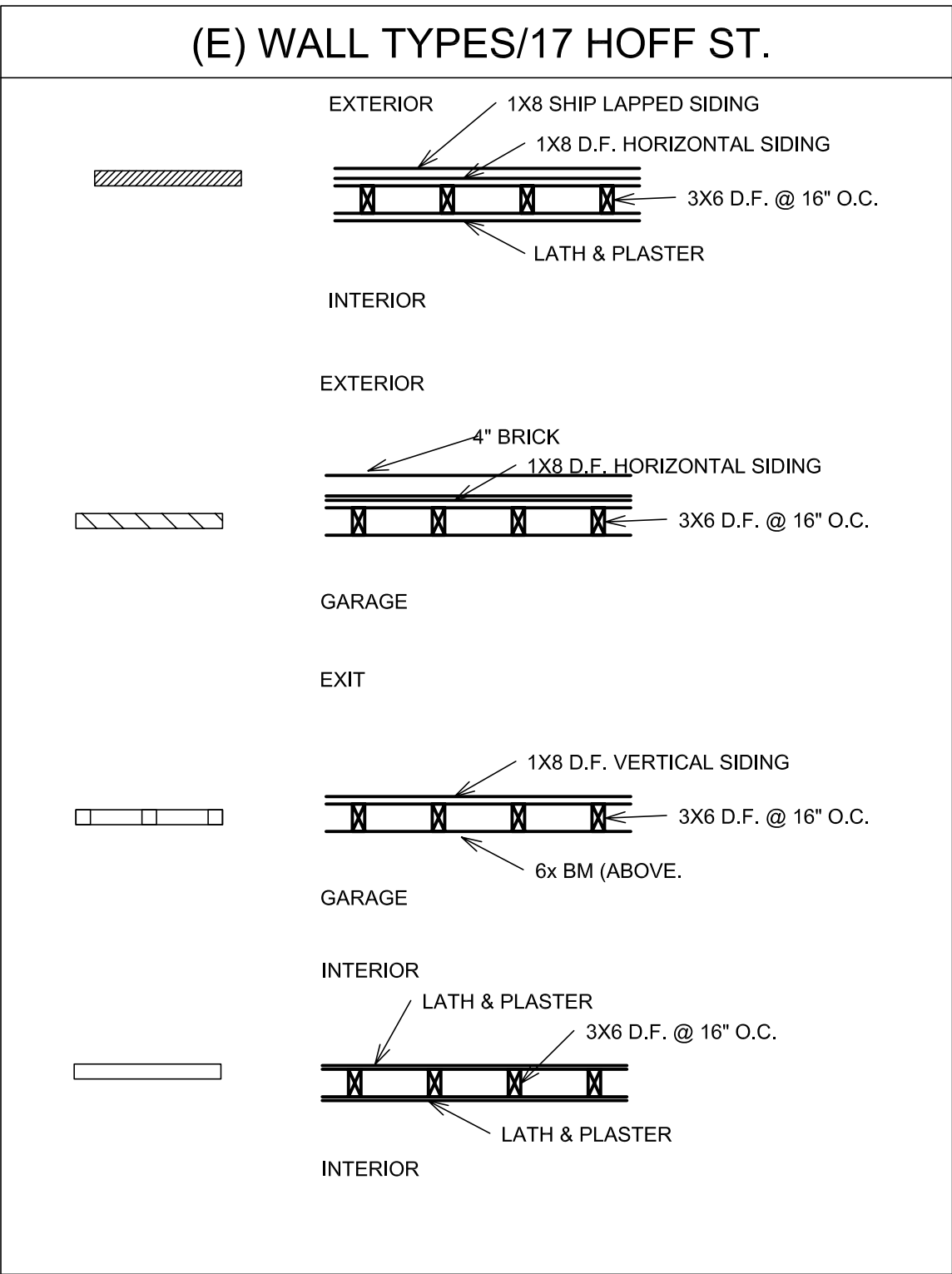
(R) PH. II RETROFIT WALL TYPES/17 HOFF ST.



① First Floor Shear Walls & Second Floor Framing Plan Retrofitted
3/16" = 1'-0"

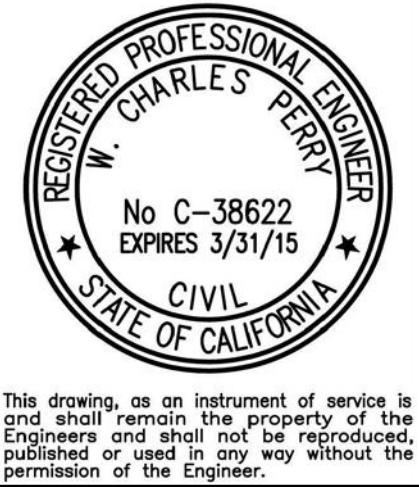


1 Second Floor Shear Wall & Third Floor Framing Plan
3/16" = 1'-0"



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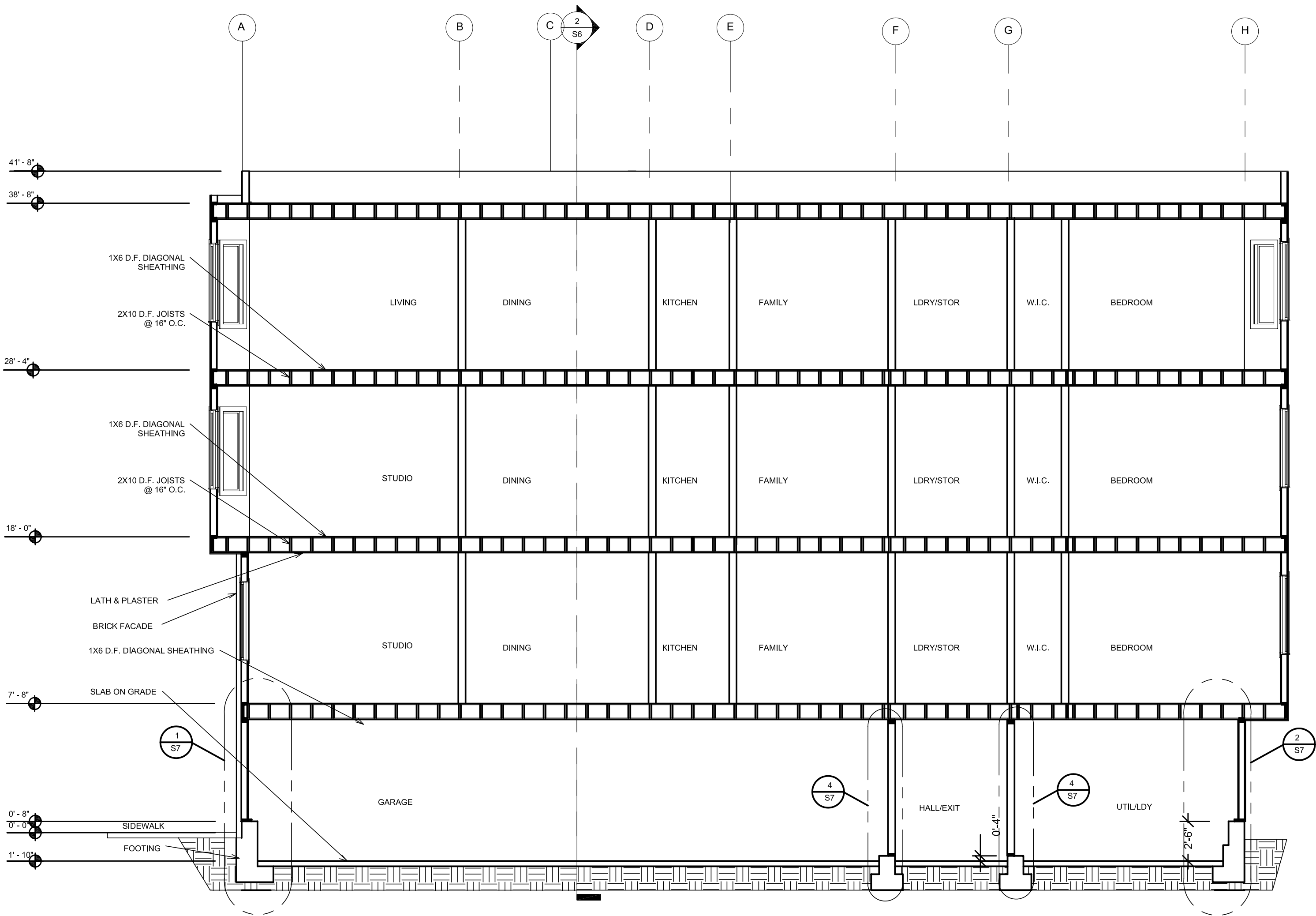
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(E) Second Floor Shear Wall
& Third Floor Framing Plan
3/16" = 1'-0"

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DRAWN BY: DMH
JOB #:

S4



① (E) Longitudnal Section
3/16" = 1'-0"

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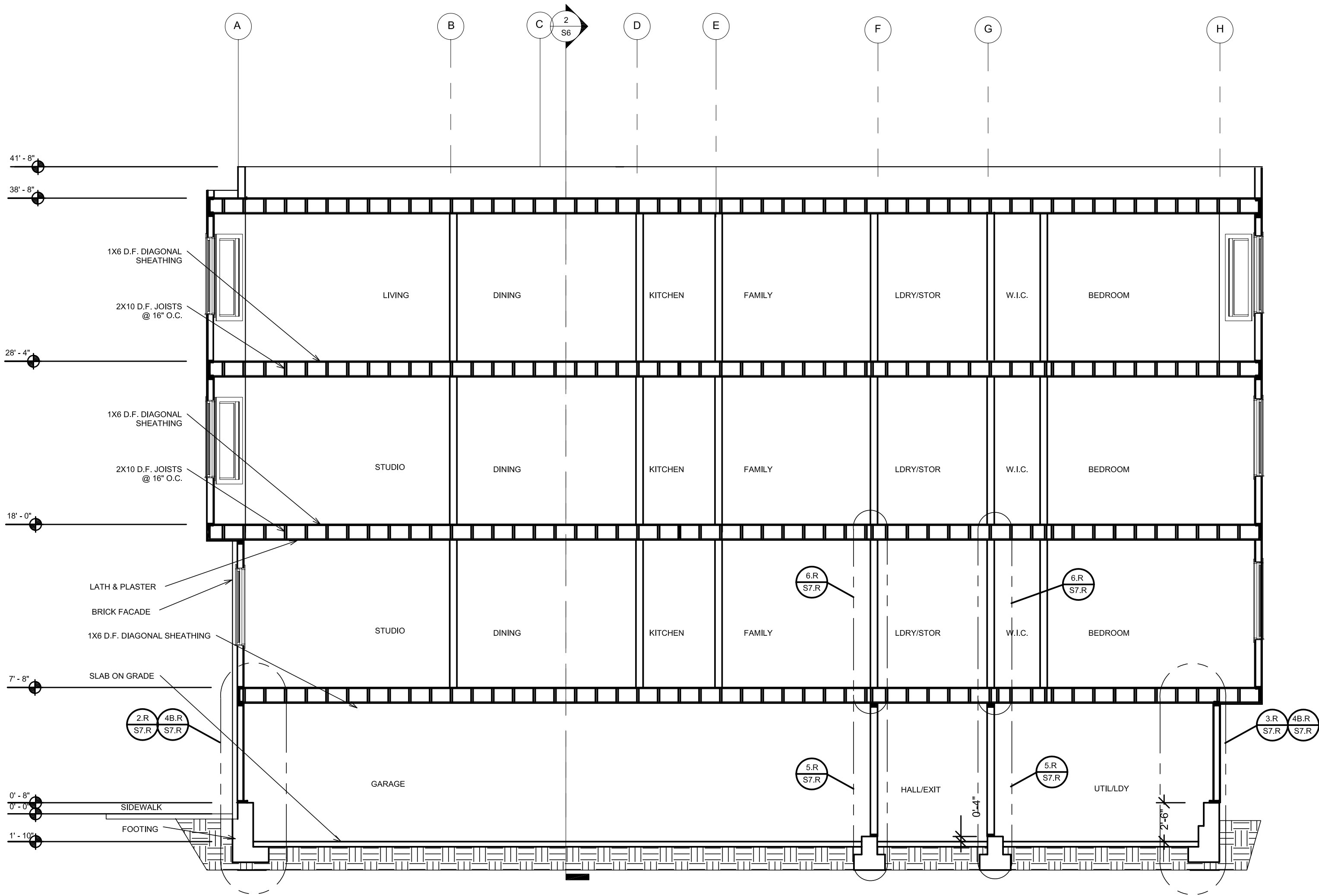
SOFT-STORY SEISMIC RETROFIT
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San Francisco, CA 94110

(E) Longitudnal Section

3/16" = 1'-0"

DATE: 5-23-14
DRAWN BY: DMH
JOB #:

S5



1 Longitudinal Section Retrofitted
3/16" = 1'-0"

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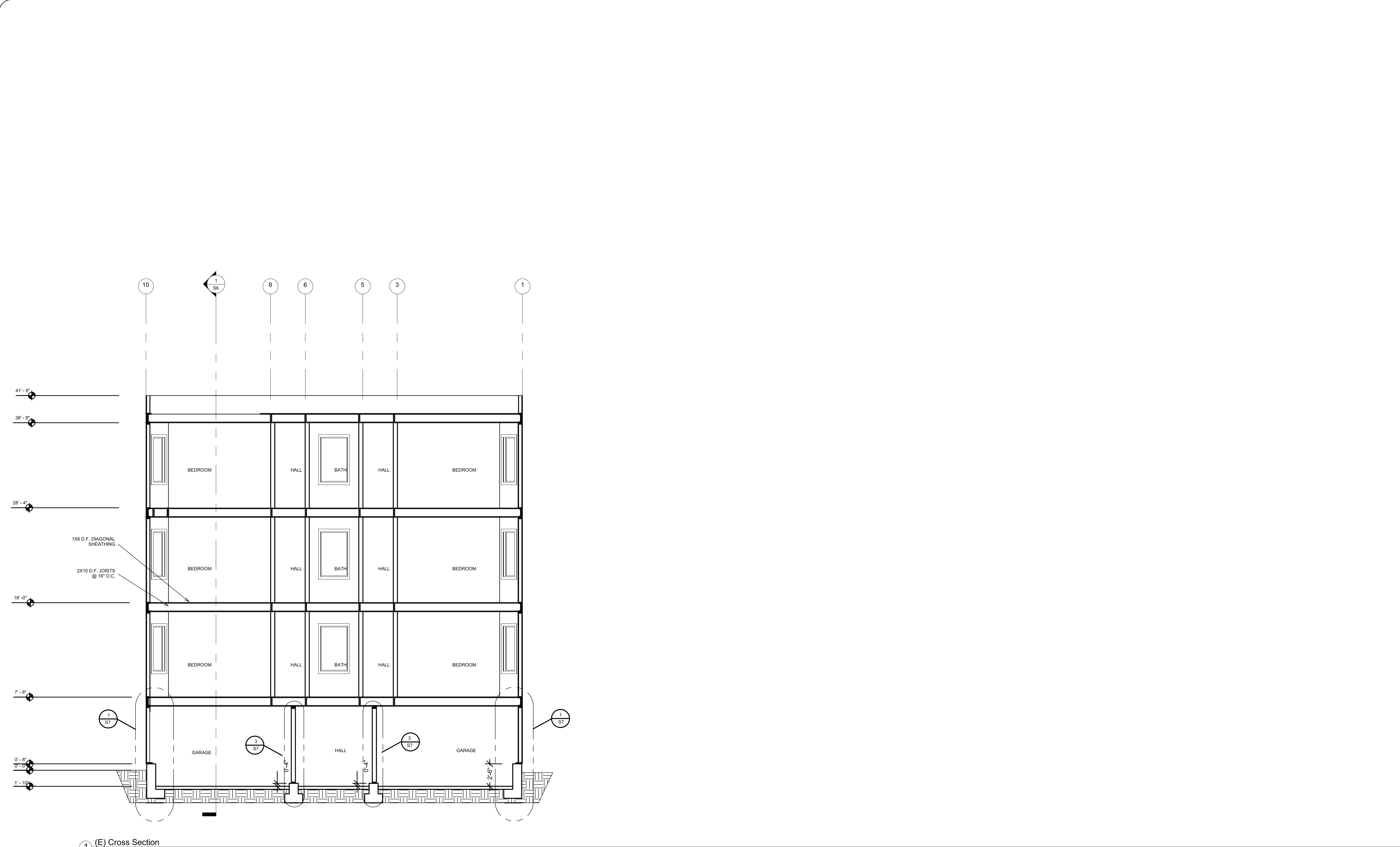
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Longitudinal Section
Retrofitted

3/16" = 1'-0"

DATE: 5-23-14
DRAWN BY: DMH
JOB #:

S5.R

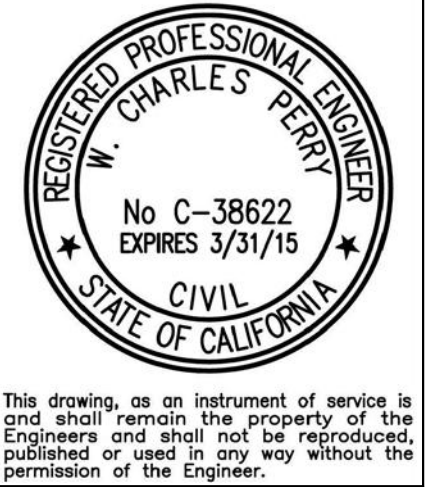


1 (E) Cross Section
3/16" = 1'-0"

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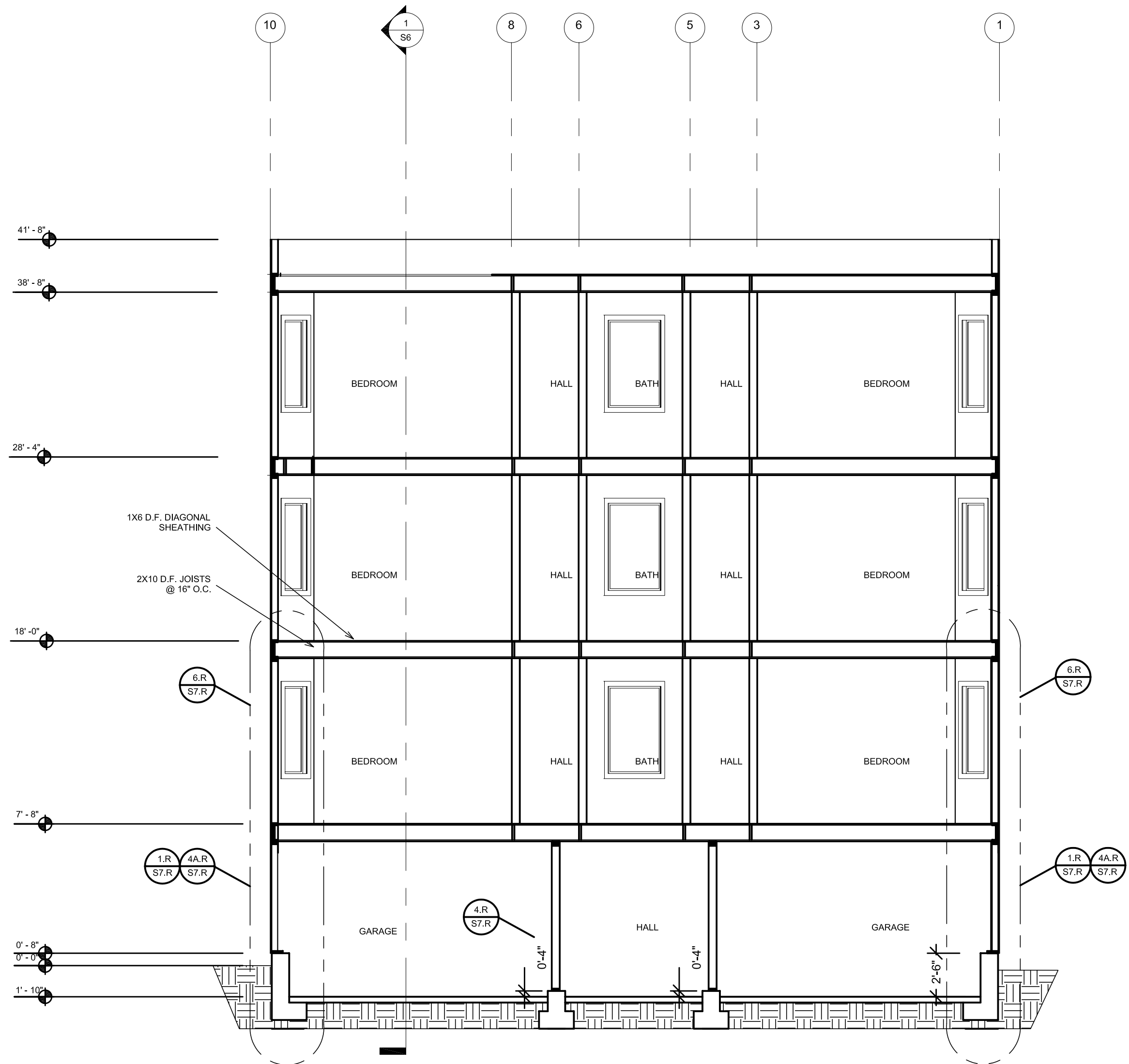
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|-------------------|---------------|
| (E) Cross Section | 3/16" = 1'-0" |
|-------------------|---------------|

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|-----------|---------|
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| DRAWN BY: | DMH |
| JOB #: | |

S6



1 Cross Section Retrofitted
3/16" = 1'-0"

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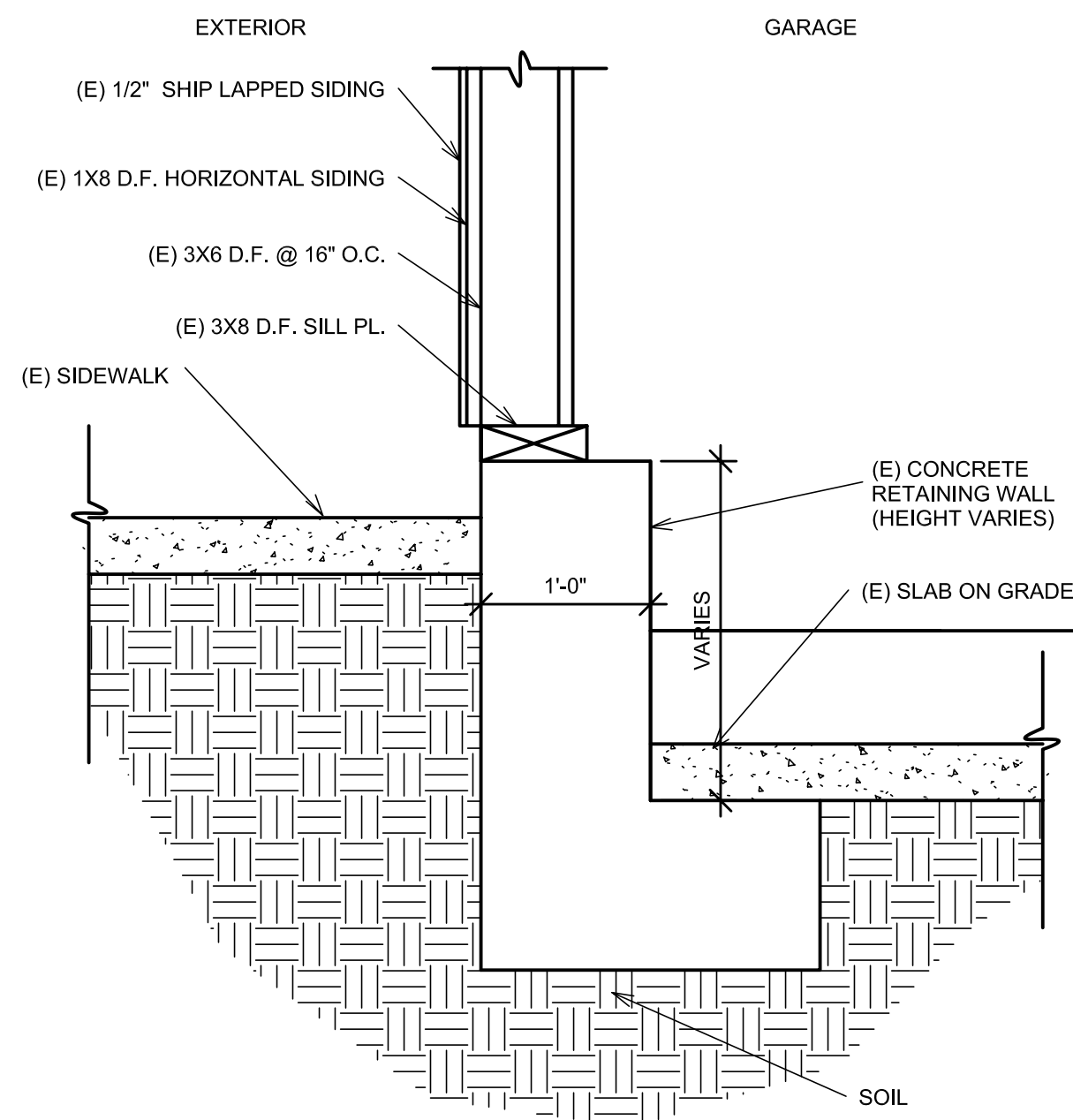
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Cross Section Retrofitted

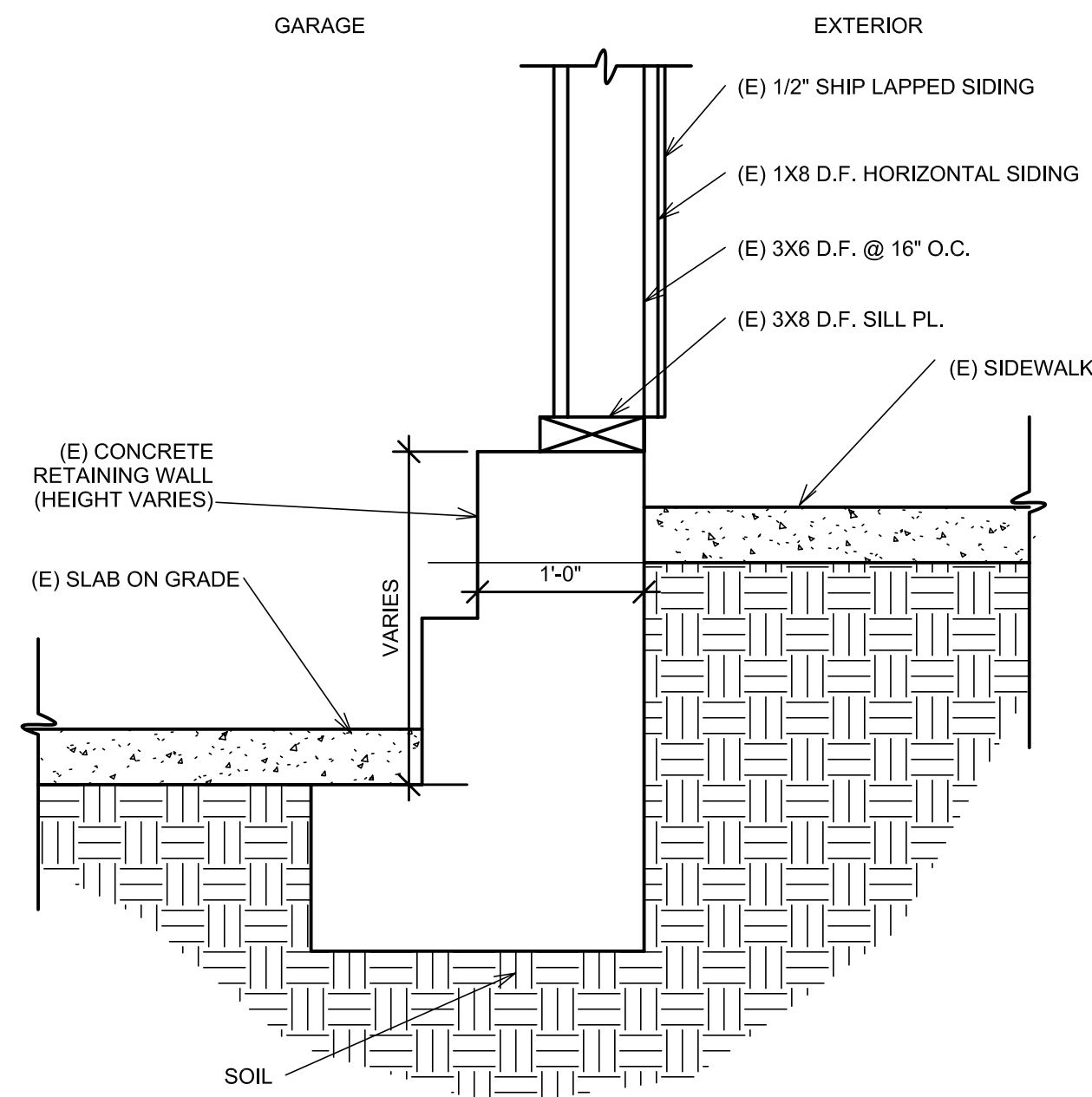
3/16" = 1'-0"

DATE: 5-23-14
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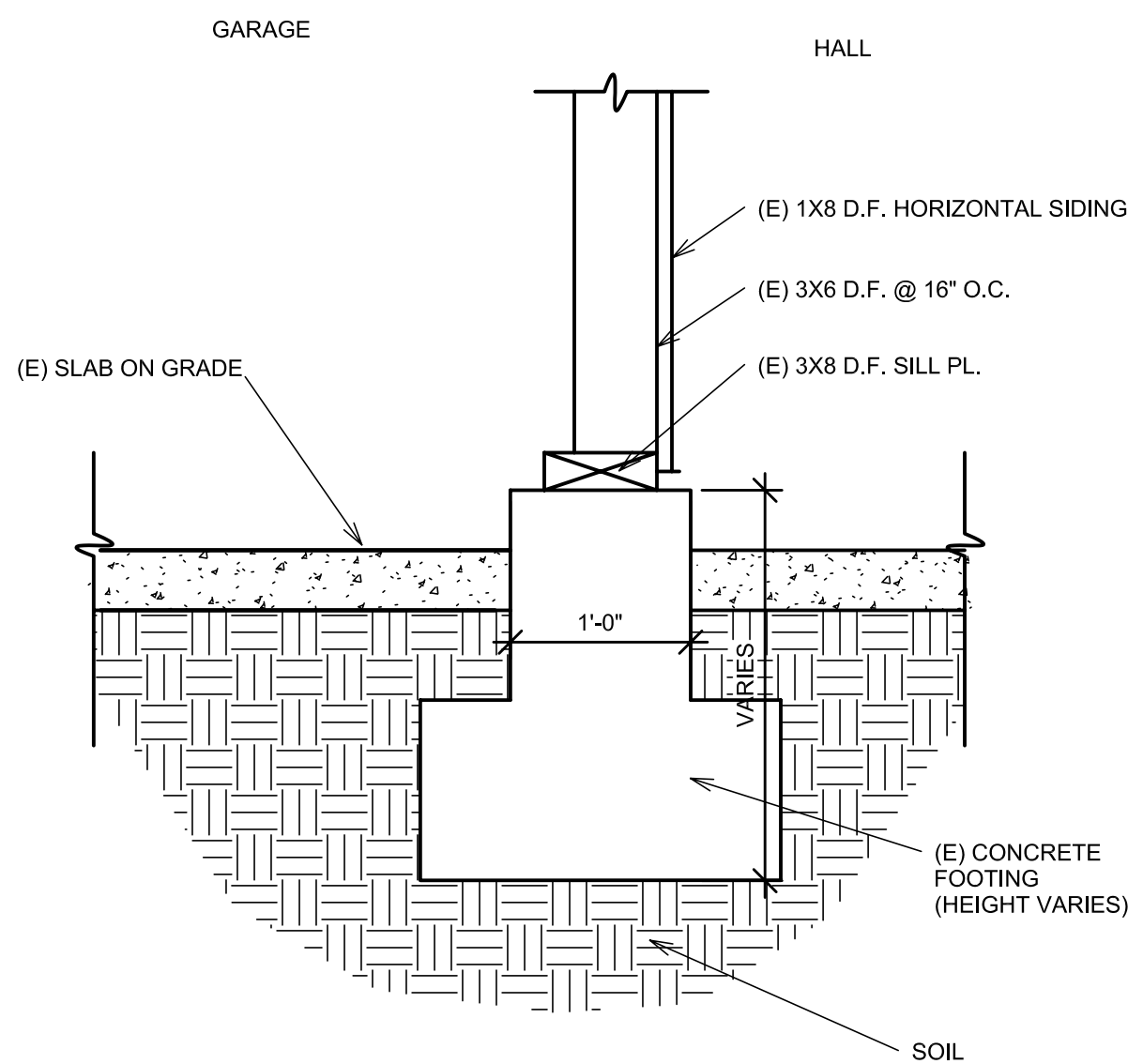
S6.R



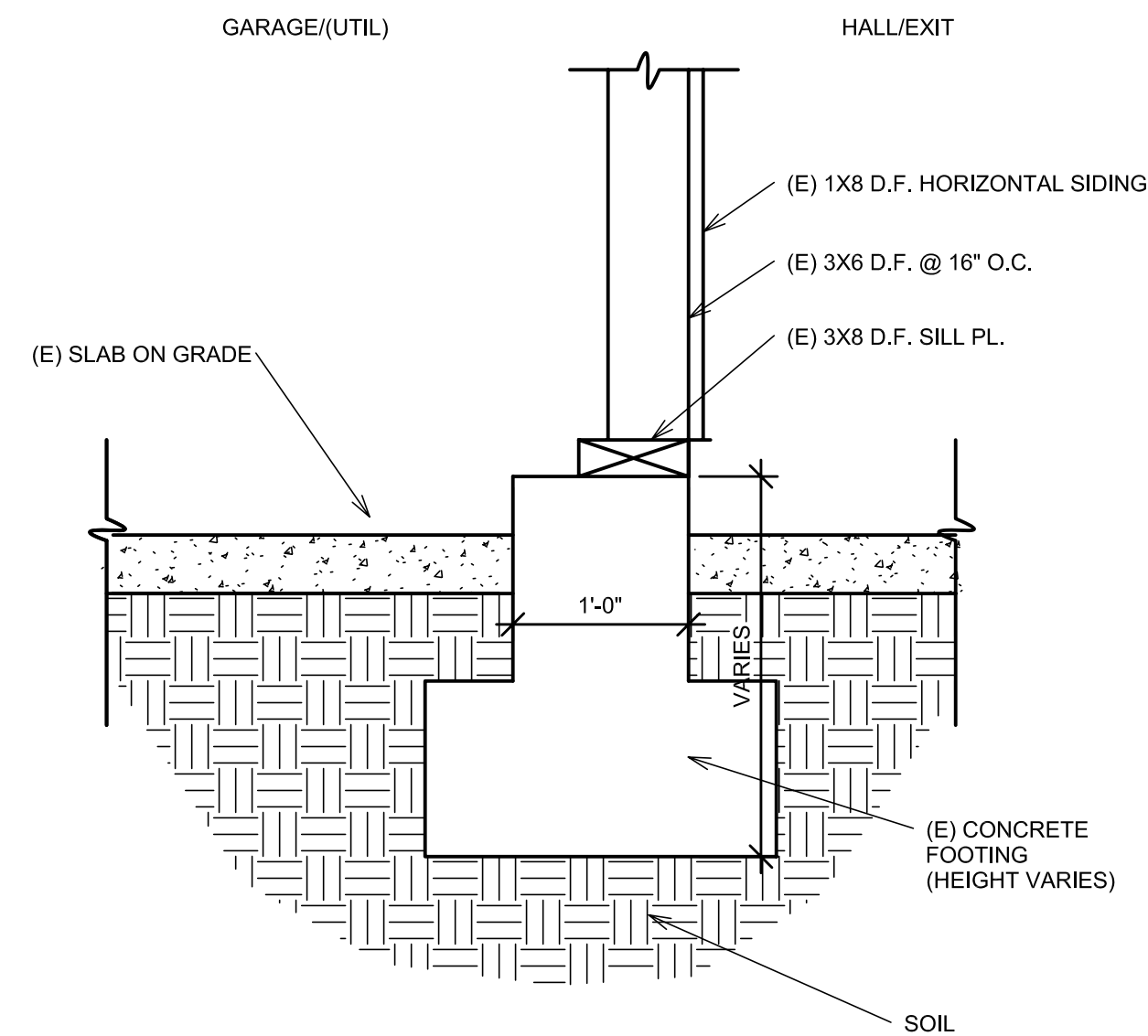
① Detail 1
1" = 1'-0"



② Detail 2
1" = 1'-0"



③ Detail 3
1" = 1'-0"



④ Detail 4
1" = 1'-0"

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SOFT-STORY SEISMIC RETROFIT

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(E) Foundation Details

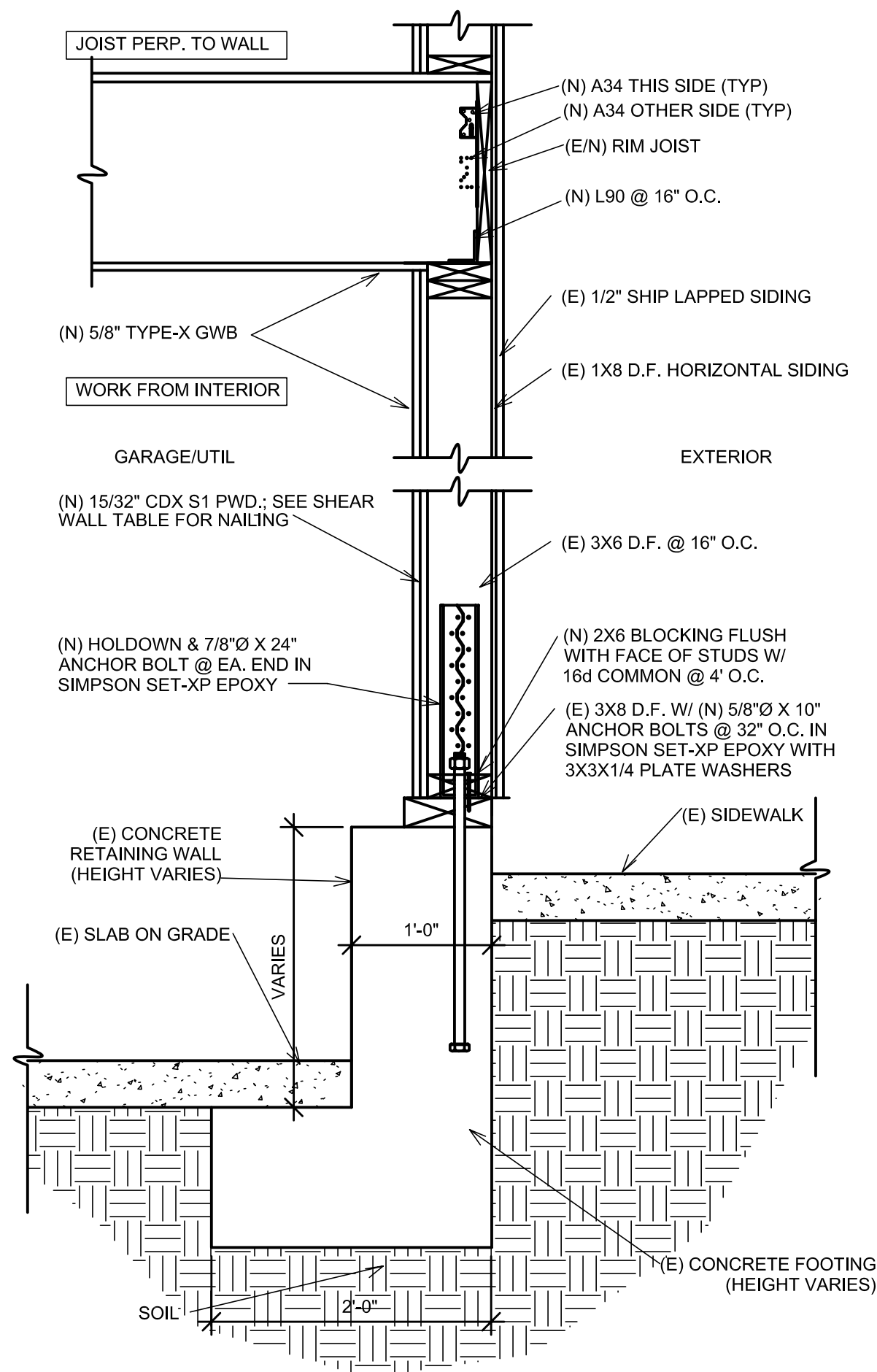
1" = 1'-0"

DATE: 5-23-14

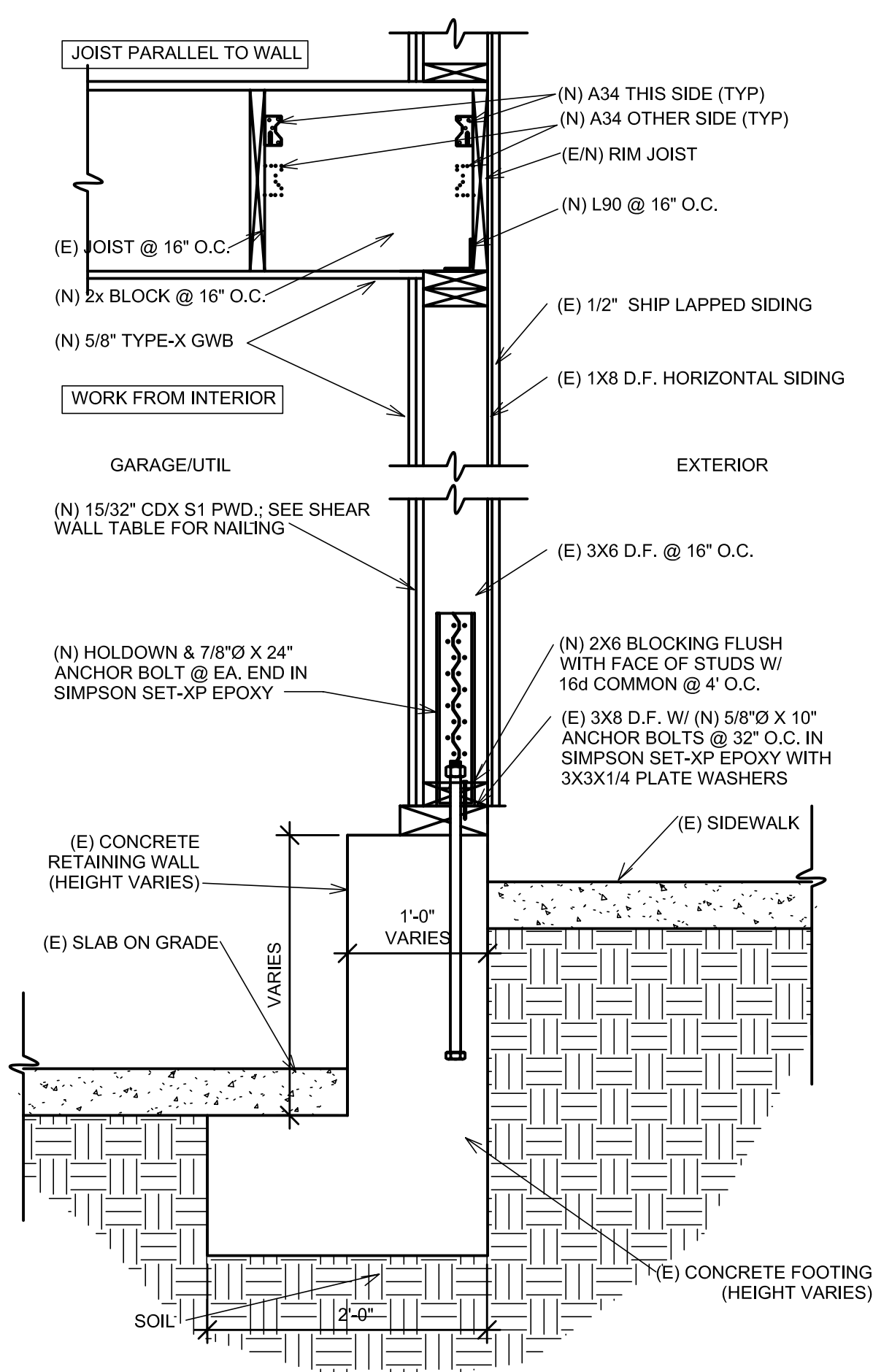
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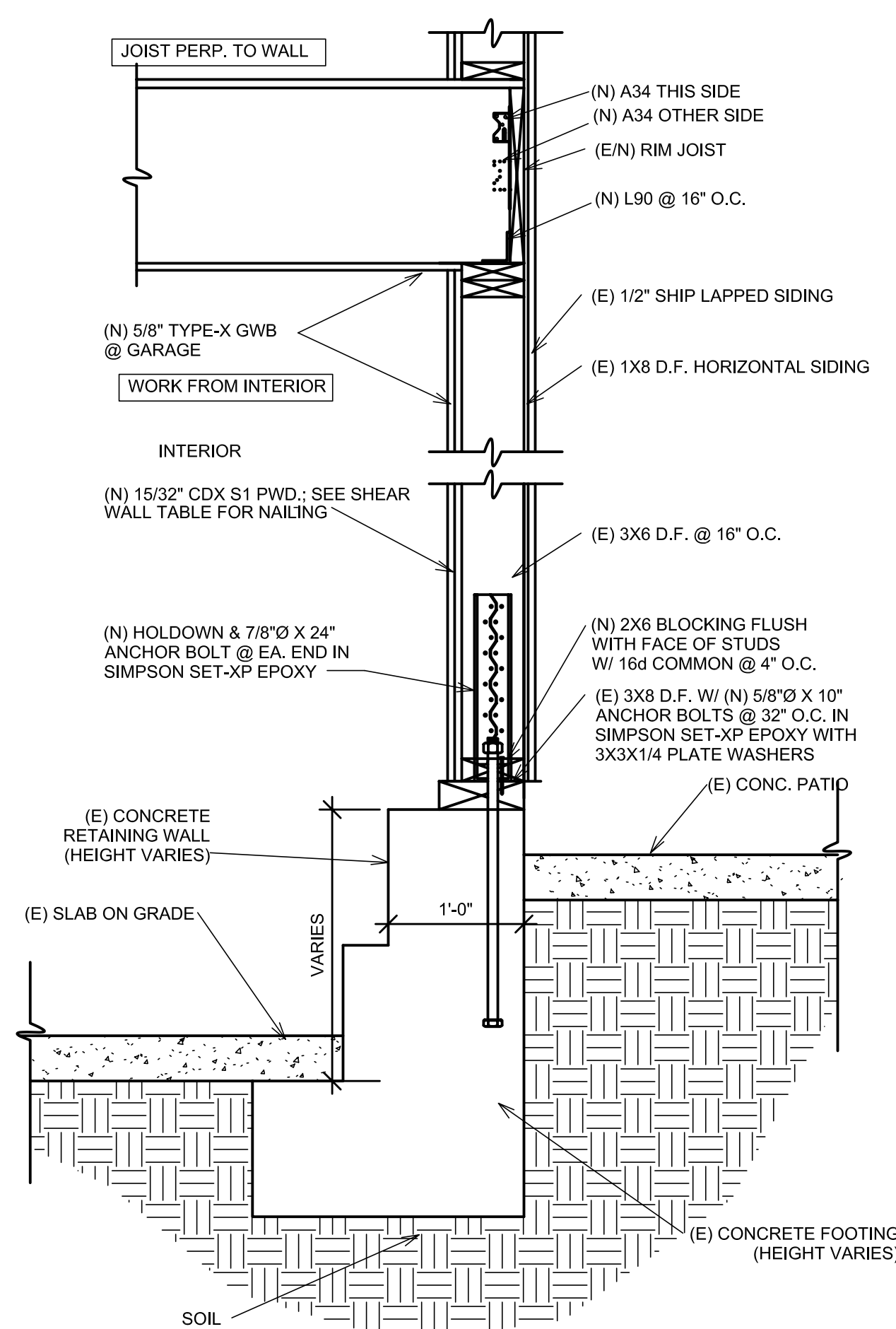
S7



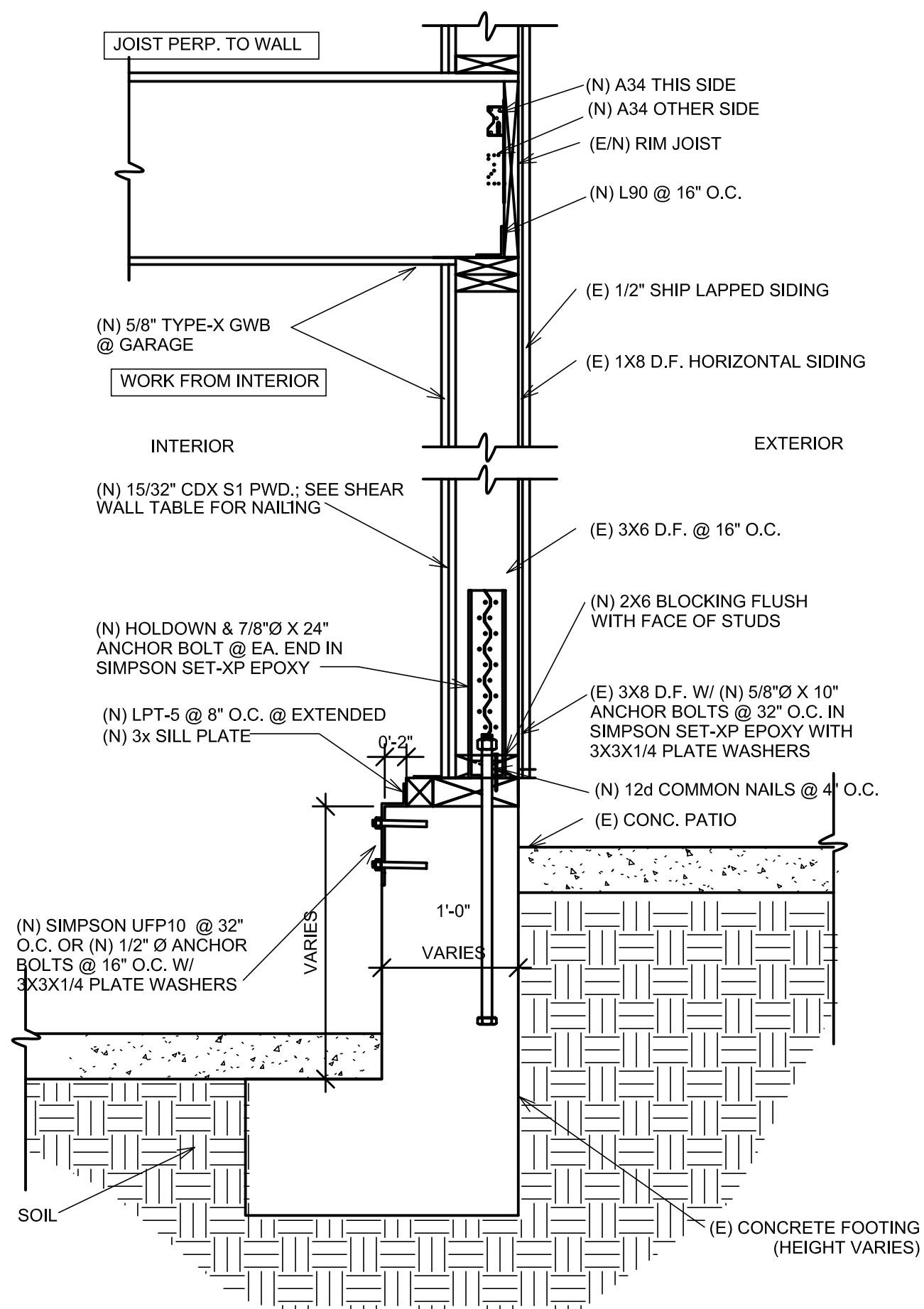
① Detail 1.R (Joists Perpendicular to Exterior Wall)
1" = 1'-0"



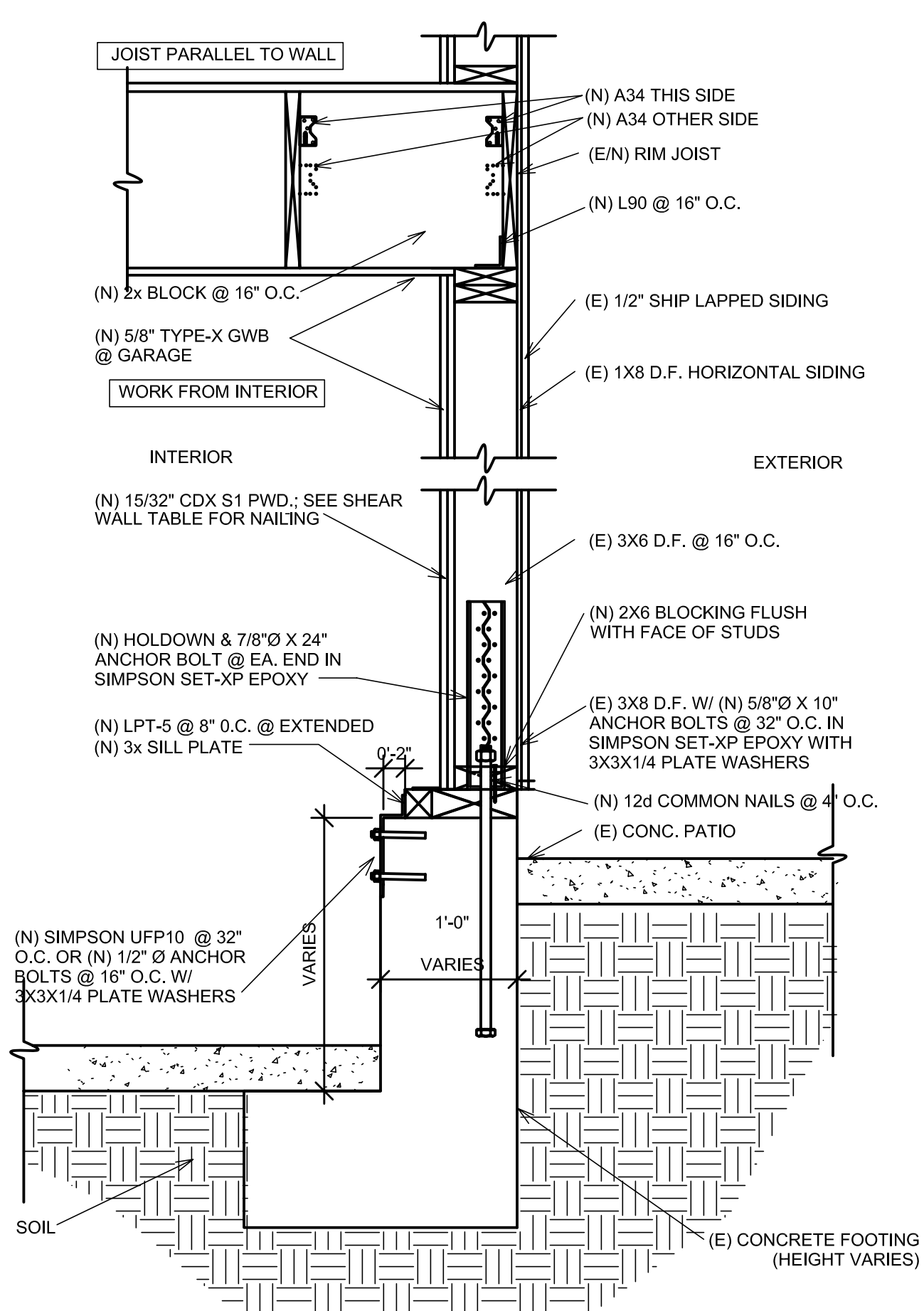
② Detail 1.R (Joists Parallel to Exterior Wall)
1" = 1'-0"



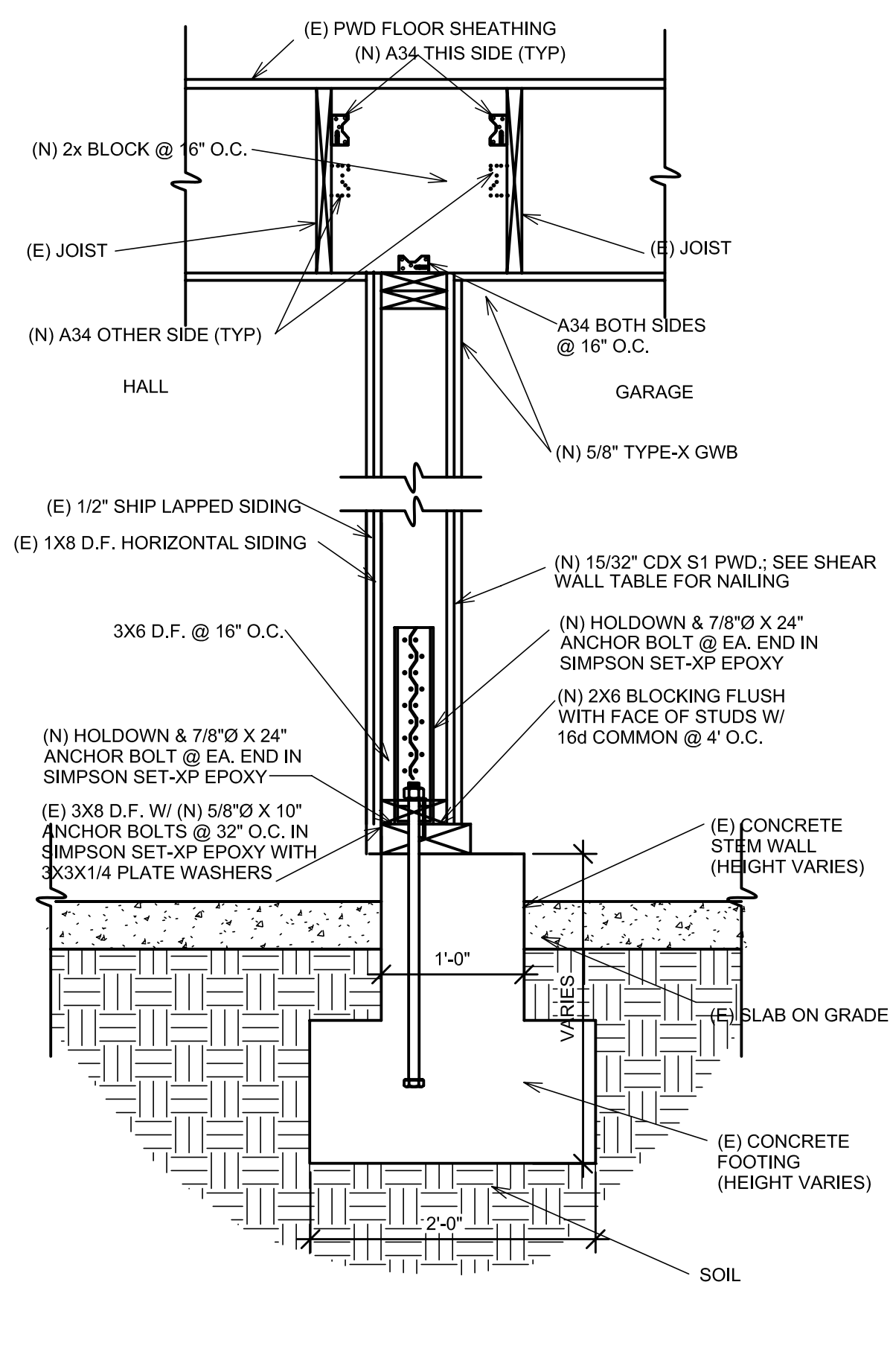
③ Detail 3.R Joists Perpendicular to Exterior Wall
1" = 1'-0"



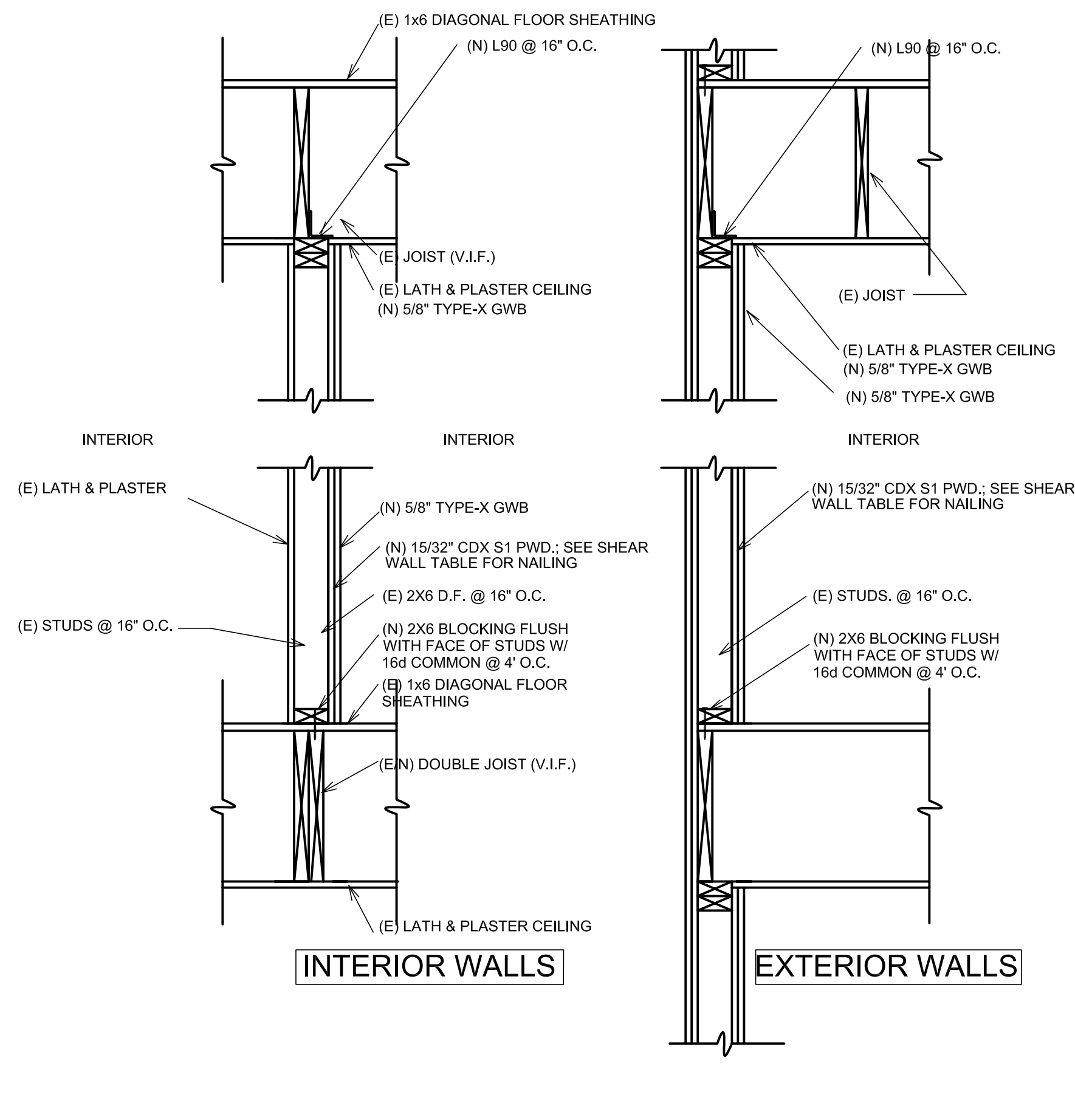
④ Detail 4(A).R (Joists Perpendicular to Exterior Wall; Alt 1.R & 3.R)
1" = 1'-0"



④ Detail 4(B).R (Joists Parallel to Exterior Wall; Alt 2.R)
1" = 1'-0"



⑤ Detail 5.R
1" = 1'-0"

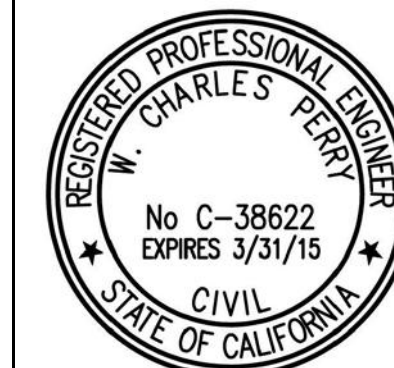


⑥ Detail 6.R
1" = 1'-0"

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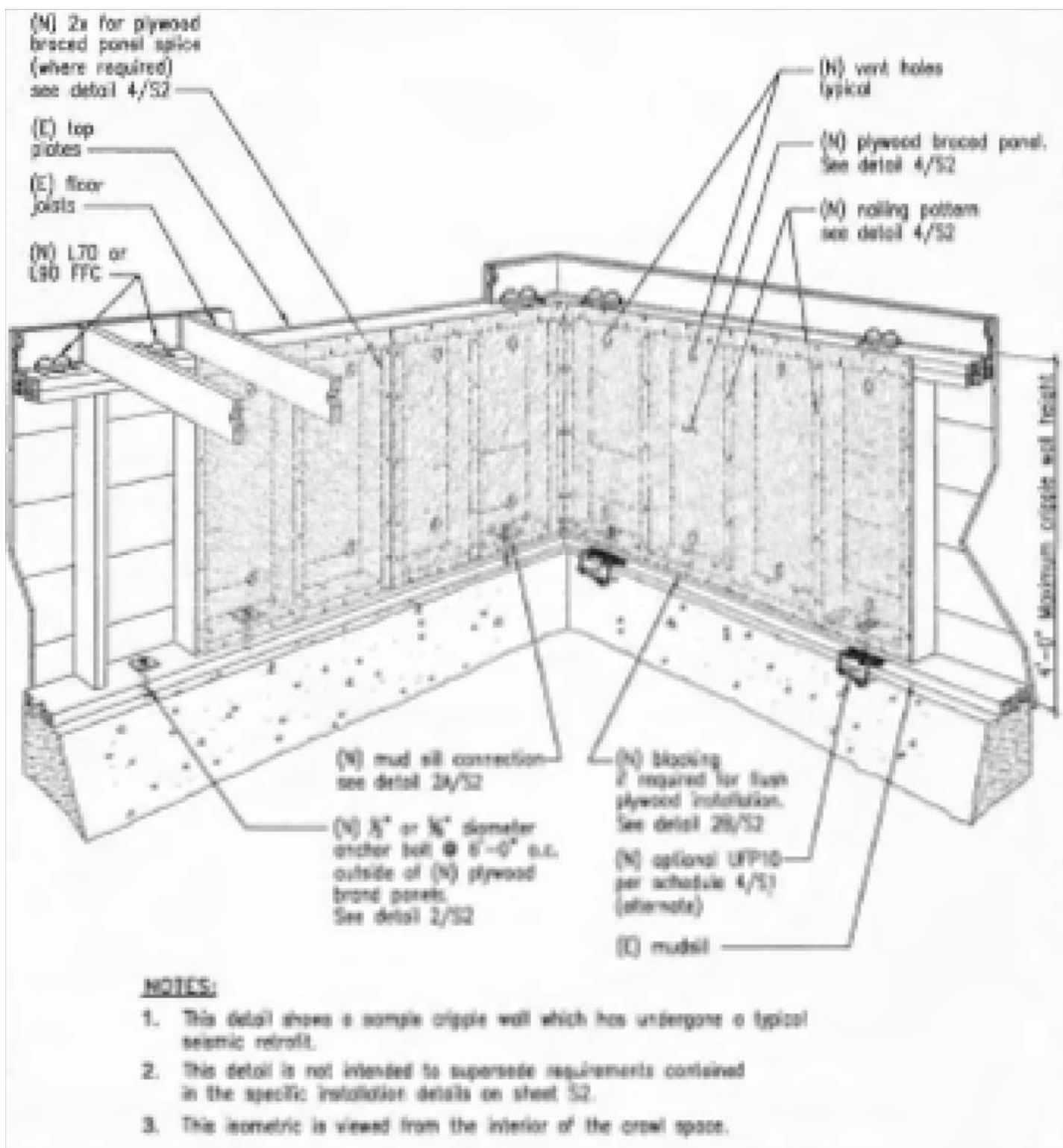
SOFT-STORY SEISMIC RETROFIT
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Foundation Details
Retrofitted

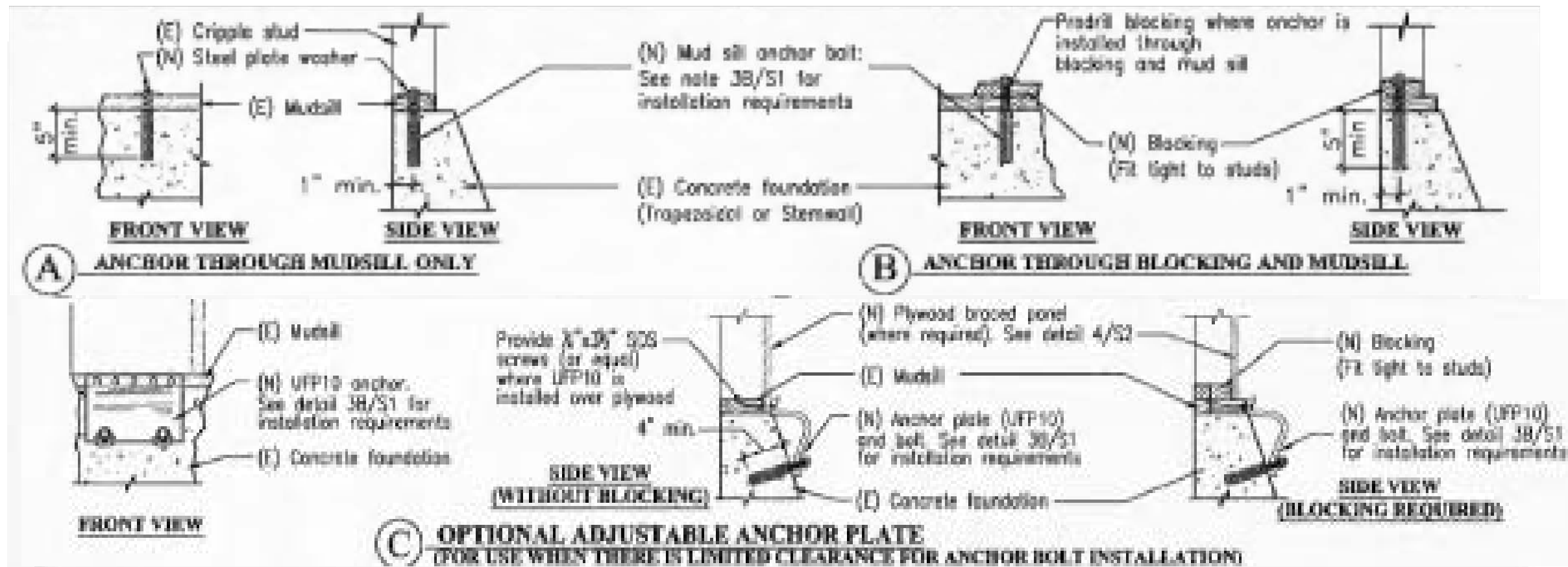
1" = 1'-0"

DATE: 5-23-14
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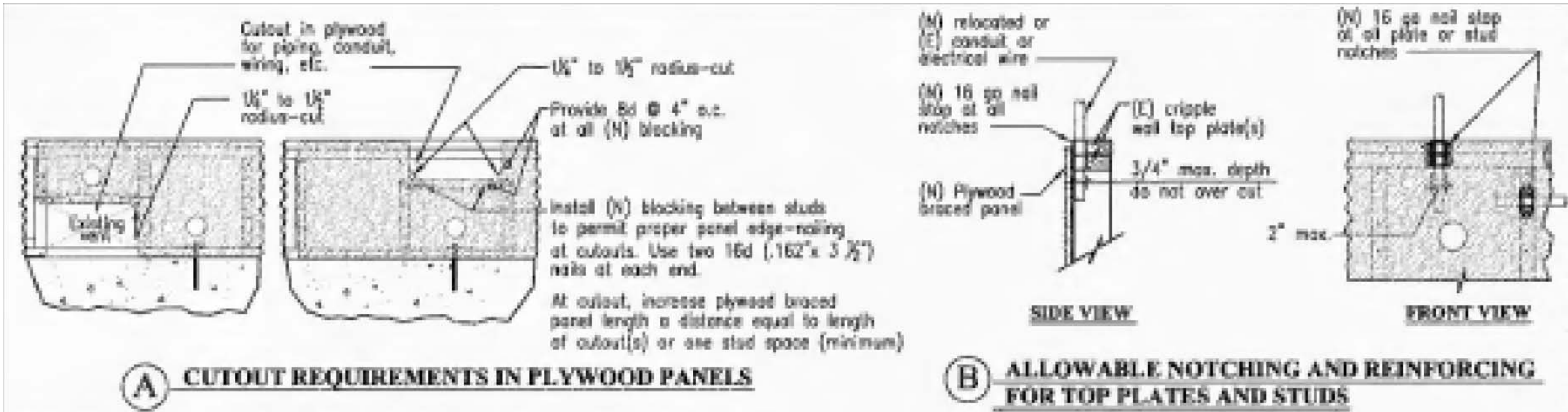
S7.R



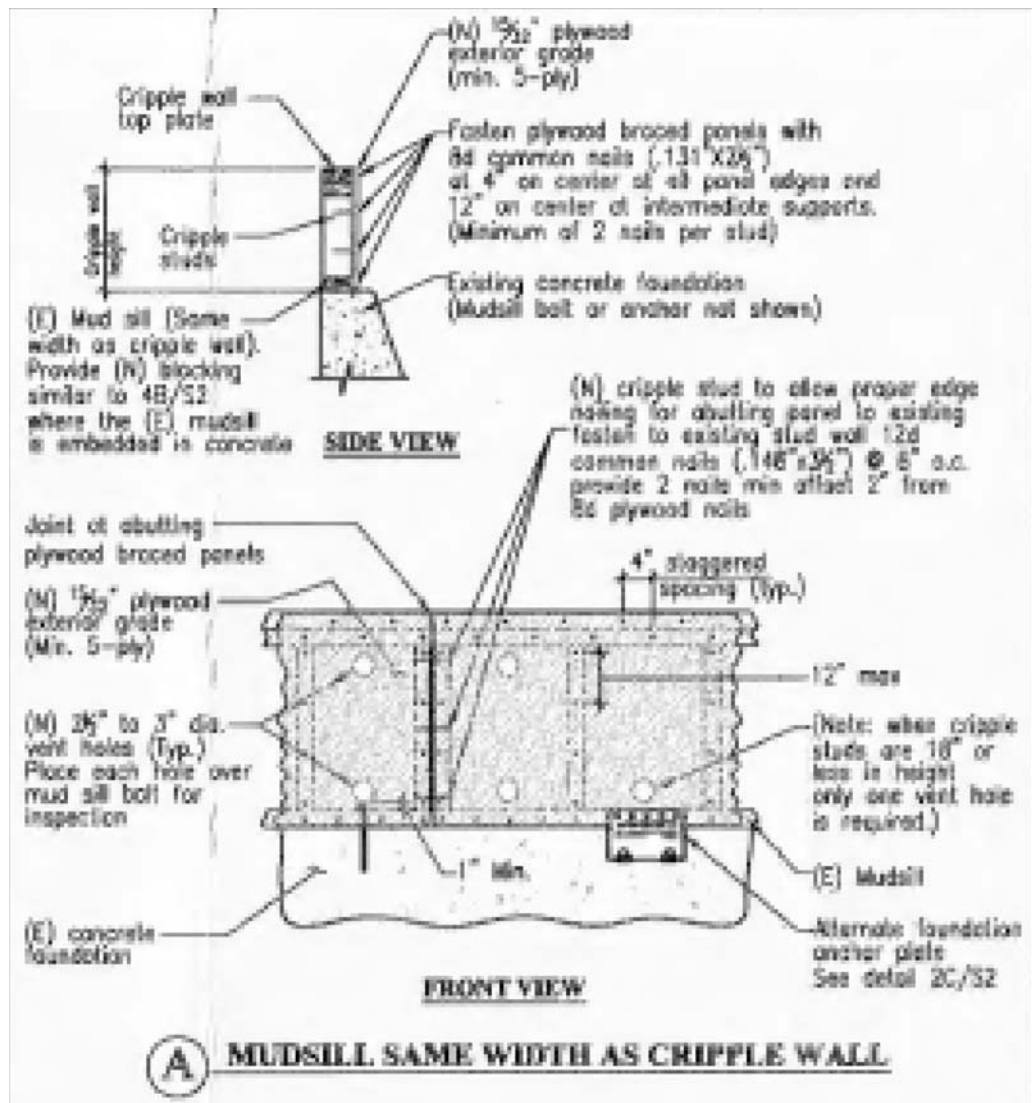
1 TYPICAL CRIPPLE WALL BRACING DETAIL



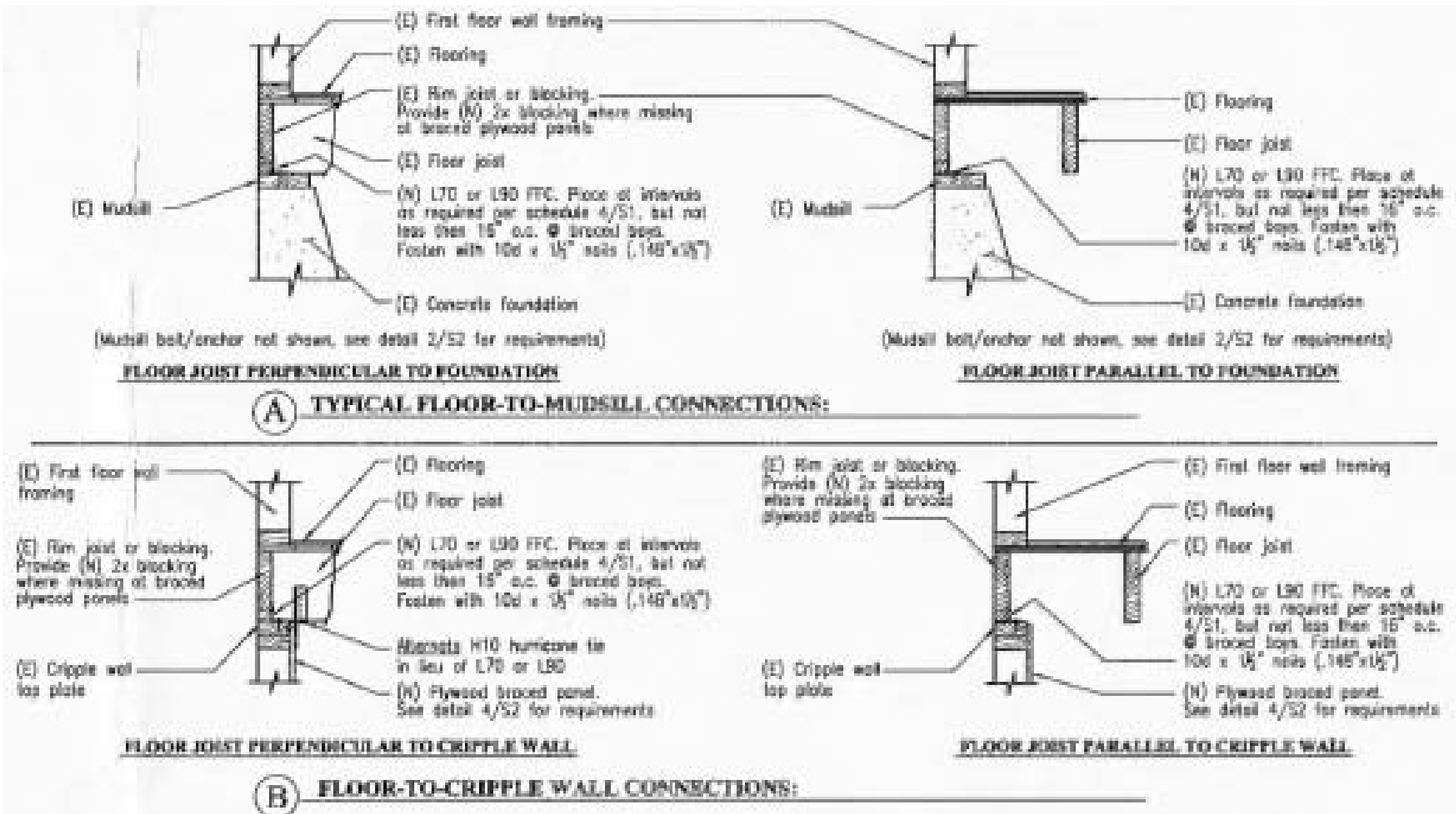
2 TYPICAL MUDSILL TO CONCRETE FOUNDATION CONNECTIONS



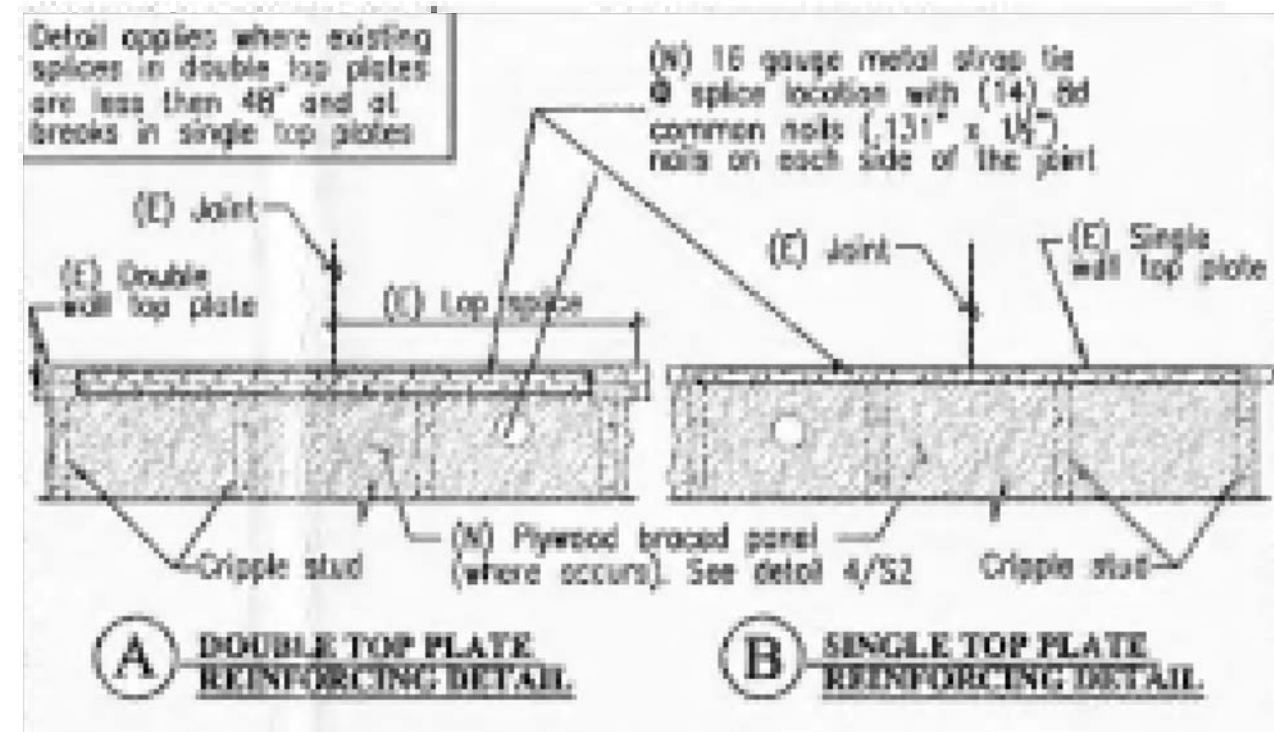
3 TYPICAL PANEL CUTOUTS & NOTCHING REQUIREMENTS



4 PLYWOOD BRACED PANEL INSTALLATION DETAIL



5 TYPICAL FLOOR-TO-CRIPPLE WALL OR FLOOR-TO-MUDSILL CONNECTIONS



6 TYPICAL TOP PLATE SPLICE DETAILS

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Shear Wall Details
Retrofitted

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DRAWN BY: DMH
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S8.R